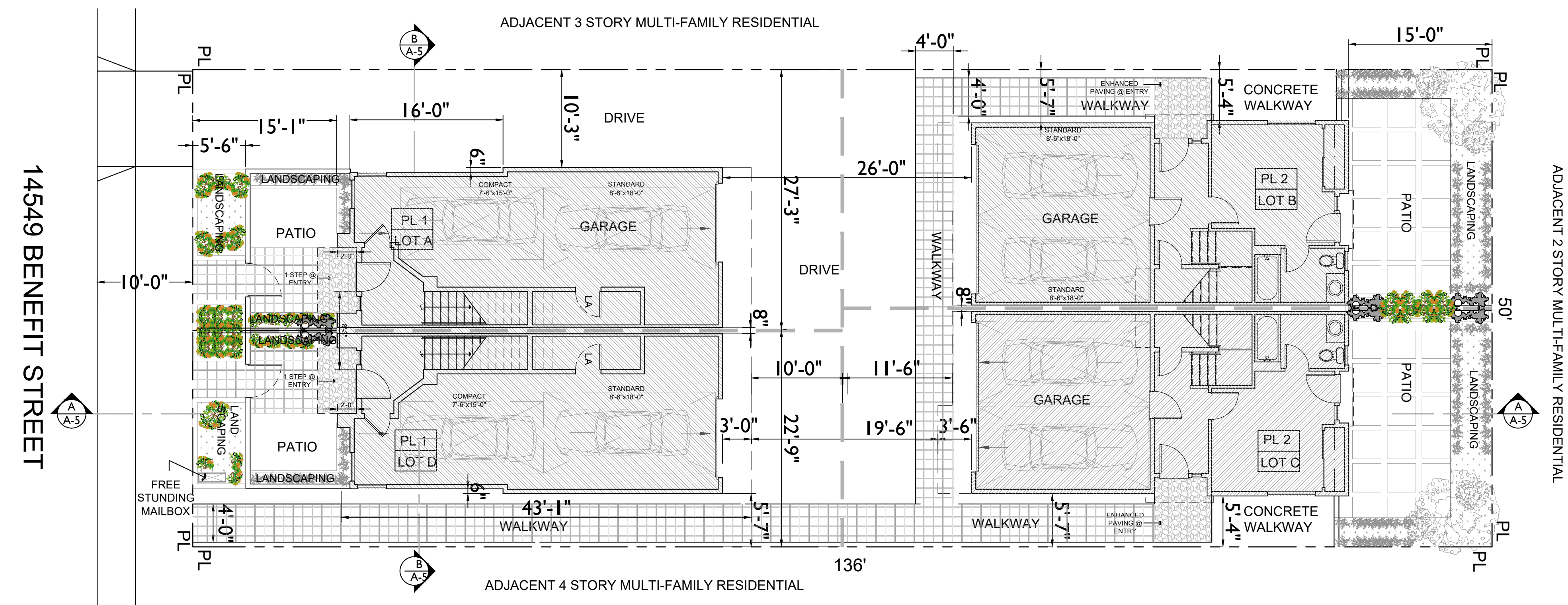


14549 BENEFIT STREET VAN NUYS, CA.91403



LANDSCAPE NOTE:
ALL SETBACK AND OPEN AREAS NOT USED FOR BUILDINGS, PARKING AREAS, DRIVEWAY, PEDESTRIAN PATHWAYS, UTILITIES, AND OPEN SPACE AREAS SHALL BE ATTRACTIVELY LANDSCAPED AND MAINTAINED.



PROJECT SUMMARY

PROJECT ADDRESS 14549 BENEFIT STREET
VAN NUYS, CA. 91403

SCOPE OF WORK
DEMOLITION OF EXISTING SINGLE-FAMILY RESIDENCE AND INFRASTRUCTURE. CONSTRUCTION OF 4-SMALL LOT DETACHED UNITS, CONSISTING OF (R-3) 4-STORY SINGLE FAMILY HOMES WITH (U) PRIVATE GARAGE AT THE GROUND FLOOR.
CONSTRUCTION TYPE VB, SPRINKLERS NFPA 13D SYSTEM

LEGAL DESCRIPTION
LOT 245 OF TRACT NO. 5822 AS RECORDED IN MAP BOOK 66, PAGES 64 & 65 OF OFFICIAL RECORDS IN THE COUNTY OF LOS ANGELES. ASSESSORS PARCEL NO. 2276-014-022.

APN 2276-014-022
TRACT TR 5822
M B 66-64/65 (SHTS 1-2)

BLOCK NONE
LOT 245
MAP SHEET 166-5A151
SITE/LOT AREA 6,840 S.F. (50.3' X 136') 2.50 ACRES
TYPE OF CONSTRUCTION TYPE VB
OCCUPANCY CLASSIFICATION U @ GROUND FLOOR
R-3 @ 1ST, 2ND AND 3RD FLOORS

ZONING RD1.5-1
ZONING INFORMATION (ZI) ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE LOW MEDIUM RESIDENTIAL
GENERAL PLAN NOTE(S) YES
HILLSIDE AREA (ZONING CODE) NO
SPECIFIC PLAN AREA NONE
SUBAREA NONE
HISTORIC PRESERVATION REVIEW NO
HISTORIC PLACES LA VIEW
CDO: COMM. DESIGN OVERLAY NONE
CPIO: COMM. PLAN IMP. OVERLAY NONE
SUBAREA NONE
CUGU: CLEAN UP-GREEN UP NONE
HCR: HILLSIDE CONST. REGS. NO

NSO: NEIGHBORHOOD STABILIZATION OVERLAY NO
POD: PEDESTRIAN ORIENTED DISTRICTS NONE
RFA: RESIDENTIAL FLOOR AREA DISTRICTS NONE
RIO: RIVER IMPLEMENTATION OVERLAY NO
SN: SIGN DISTRICT NO
STREETSCAPE NO
ADAPTIVE REUSE INCENTIVE AREA NONE
RESIDENTIAL MARKET AREA MEDIUM
NON-RESIDENTIAL MARKET AREA HIGH
TRANSIT ORIENTED COMMUNITIES (TOC) TIER 2
CRA COMMUNITY REDEVELOPMENT AGENCY NONE
CENTRAL CITY PARKING NO
DOWNTOWN PARKING NO
BUILDING LINE NONE
500 FT SCHOOL ZONE NO
500 FT PARK ZONE NO

SPRINKLERS N.F.P.A. 13-D SYSTEM
PROPOSED BUILDING HEIGHT 4 STORIES - 44'-0" (REFER TO BUILDING ELEVATIONS)
SETBACK REQUIREMENTS: (REFER TO LOT SETBACK SUMMARY FOR ADDITIONAL INFORMATION)
FRONT: REQUIRED FRONT YARD SETBACK -
SIDE: REQUIRED SIDE YARD SETBACK - 5'
REAR: REQUIRED REAR YARD SETBACK - 15'

TOTAL DWELLINGS PROPOSED 4 DWELLINGS

PLAN SUMMARY	QTY	TYPE	AREA
PL 1	3BD/3.5BA		1,729 SF
PL 2	3BD/3.5BA		2,056 SF
4	TOTAL		

PARKING SUMMARY
PARKING REQUIRED = 8 STALLS REQ'D
PARKING PROVIDED = 8 STALLS

PRIVATE OPEN SPACE
PLAN 1 = 70 S.F. BALCONY & 117 S.F. ROOF DECK = 187 S.F.
PLAN 2 = 60 S.F. BALCONY & 130 S.F. ROOF DECK = 190 S.F.
TOTAL PRIVATE OPEN SPACE = 754 S.F.

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ART and INTERIOR DESIGN SERVICES
635 W COLORADO ST., ST. 112, GLENDALE CA 91204
TEL.: 818-389-3888

PROJECT TITLE: 4 LOT - SMALL LOT DETACHED
OWNER: URBAN DEVELOPMENT LLC.
JOB ADDRESS: 14549 BENEFIT STREET VAN NUYS, CA. 91403

JOB NO.: A-1672
DRAWN BY: A.I.
CHECKED BY: A.I.
DATE: 01-07-20
SHEET TITLE:

SHEET NUMBER
A.00
SHEETS 1 OF 7

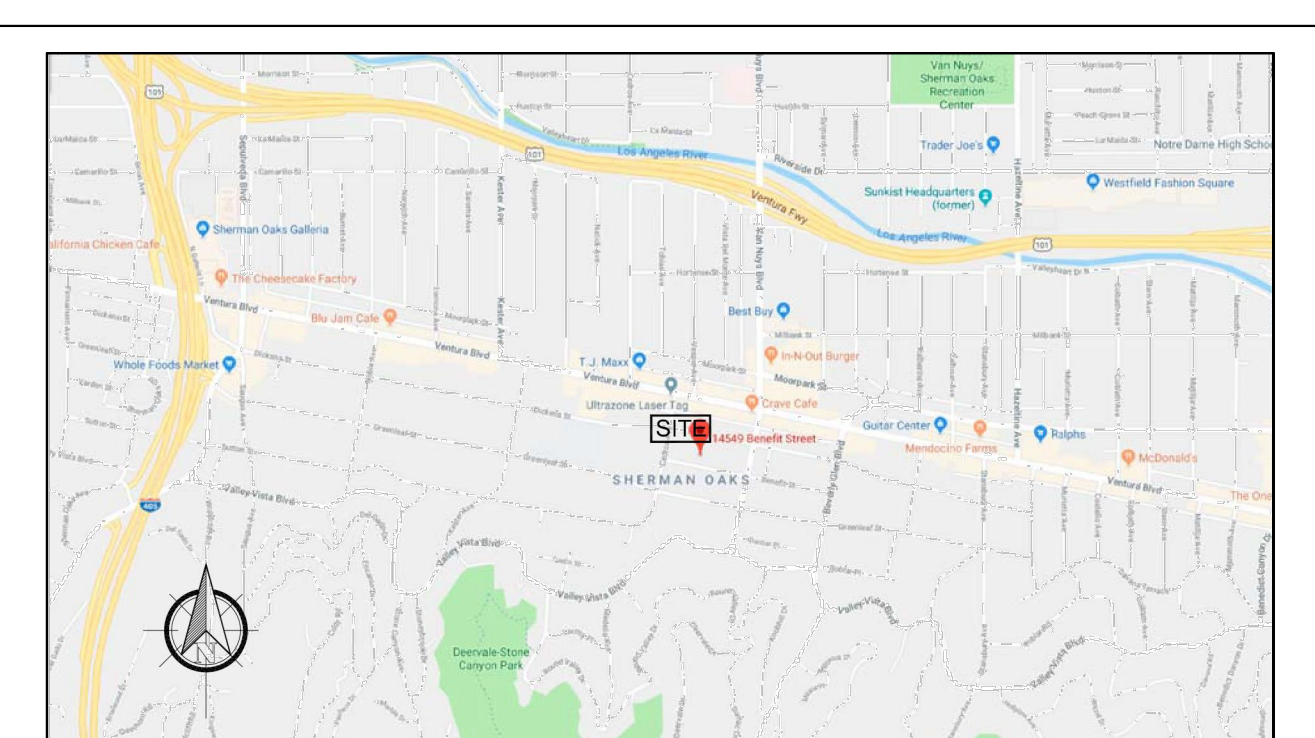
LOT SUMMARY

LOT SIZES	
LOT NUMBER	AREA (S.F.)
A	1,827
B	2,056
C	2,056
D	1,827

LOT SETBACK SUMMARY

SETBACK MATRIX				
LOT NUMBER	EAST (SIDE)	WEST (SIDE)	NORTH (REAR)	SOUTH (FRONT)
1	0.0'	10.25'	10.0'	15.0'
2	0.0'	5.33'	15.5'	11.0'
3	5.33'	0.0'	15.5'	11.0'
4	5.58'	0.0'	10.0'	15.0'

VICINITY MAP



N.T.S.

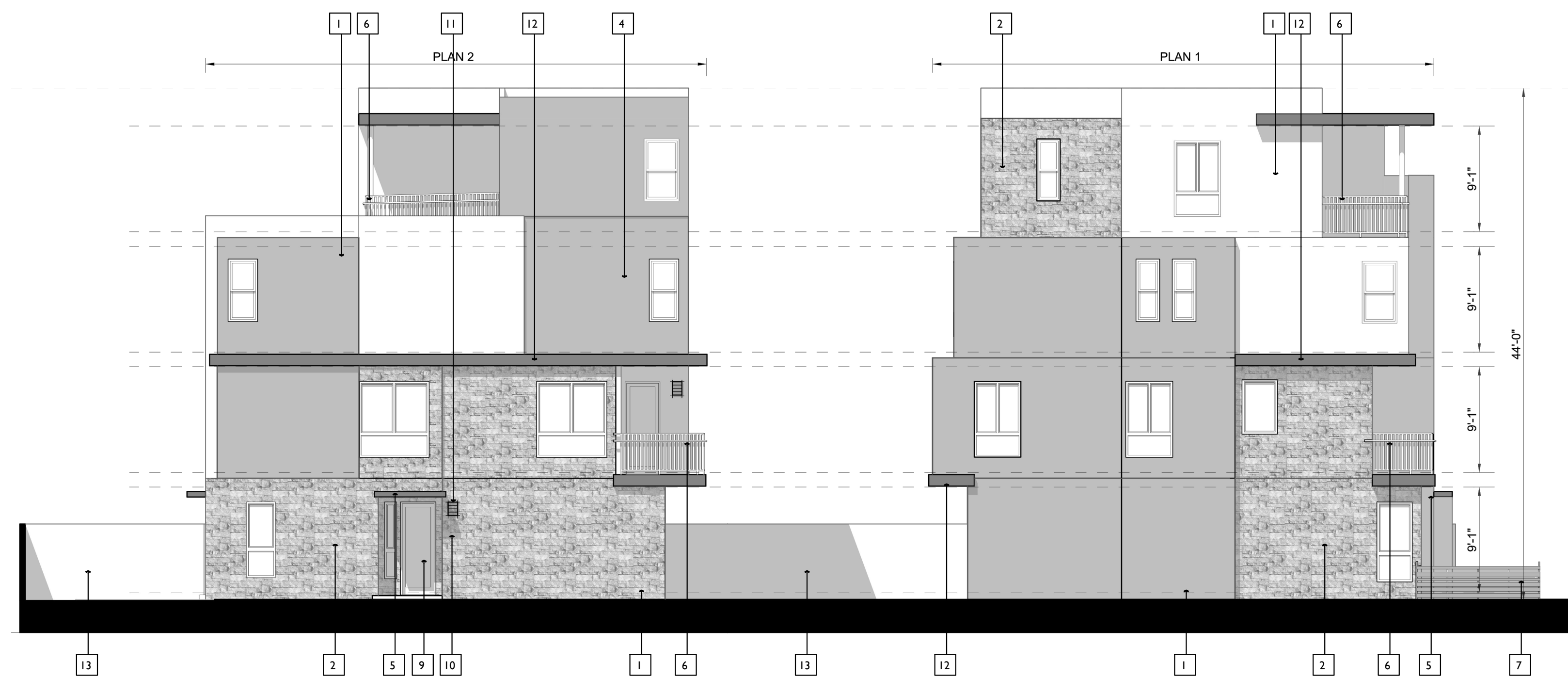
SHEET INDEX

ARCHITECTURE:

SHEET SP	SITE PLAN
SHEET A-1	SITE PERSPECTIVES
SHEET A-2	PLAN 1 FLOOR PLANS
SHEET A-3	PLAN 2 FLOOR PLANS
SHEET A-4	SITE ELEVATIONS
SHEET A-5	SITE SECTIONS

SITE PLAN

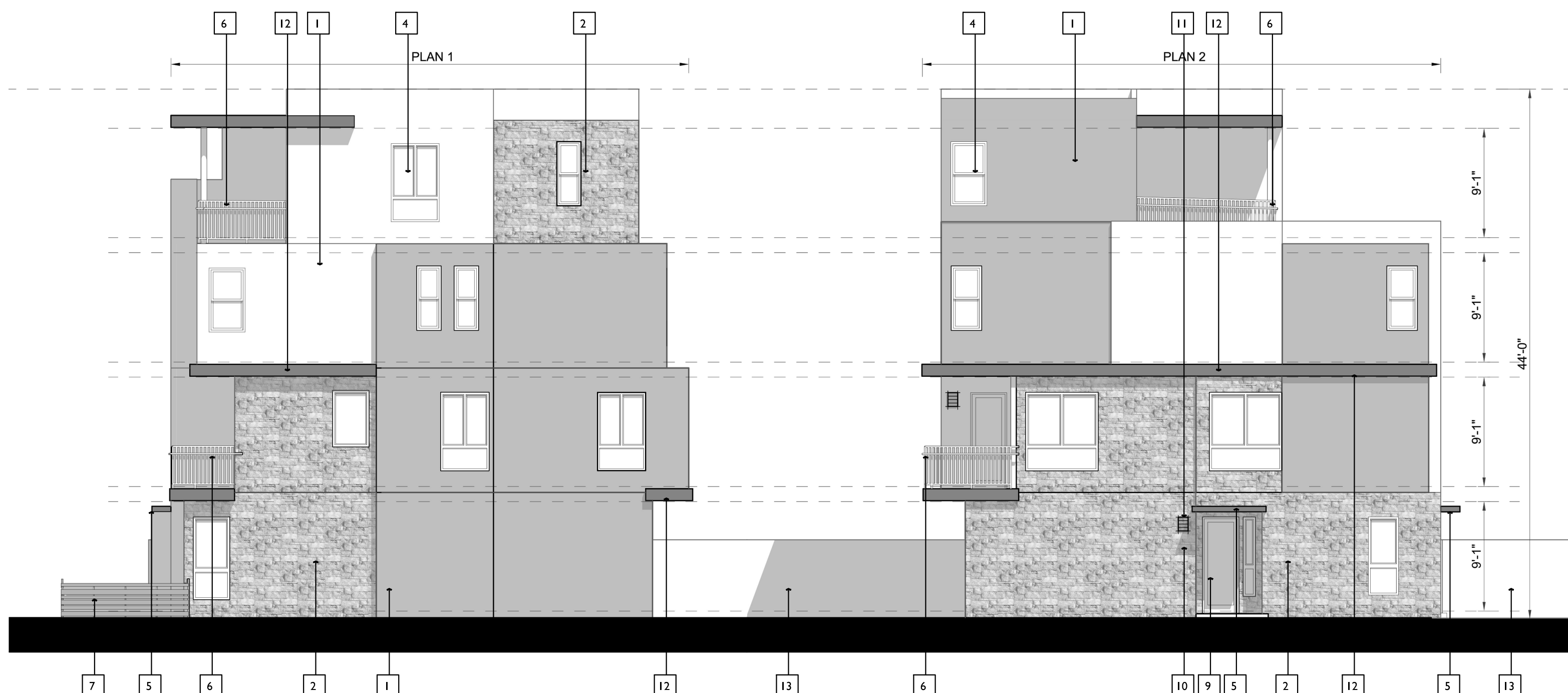
SCALE: 1/8" = 1'-0"



LEFT (WEST) ELEVATION



FRONT (SOUTH) ELEVATION



RIGHT (EAST) ELEVATION



REAR (NORTH) ELEVATION

- MATERIAL SCHEDULE**
- 1 WALLS - EXTERIOR STUCCO
1620 SAND FLOAT FINISH
 - 2 WALLS - TILE VENEER
 - 3 WALLS - SMOOTH STUCCO FINISH DARK GRAY
 - 4 RECESSED WINDOWS - ALUMINUM FRAME
 - 5 DECORATIVE AWNING- CANTILEVER STEEL
 - 6 RAILING - DECORATIVE STEEL
 - 7 PATIO WALL - WOOD SLAT W/ METAL FRAME
 - 8 GARAGE DOOR - STEEL FRAME/GLAZED
 - 9 ENTRY DOOR - FRENCH W/ SIDE LITE @ PLAN 2
 - 10 ADDRESS / UNIT IDENTIFICATION
 - 11 DECORATIVE LIGHT FIXTURE
 - 12 DECORATIVE STUCCO EYEBROW
 - 13 DECORATIVE PRECISION BLOCK SITE WALL

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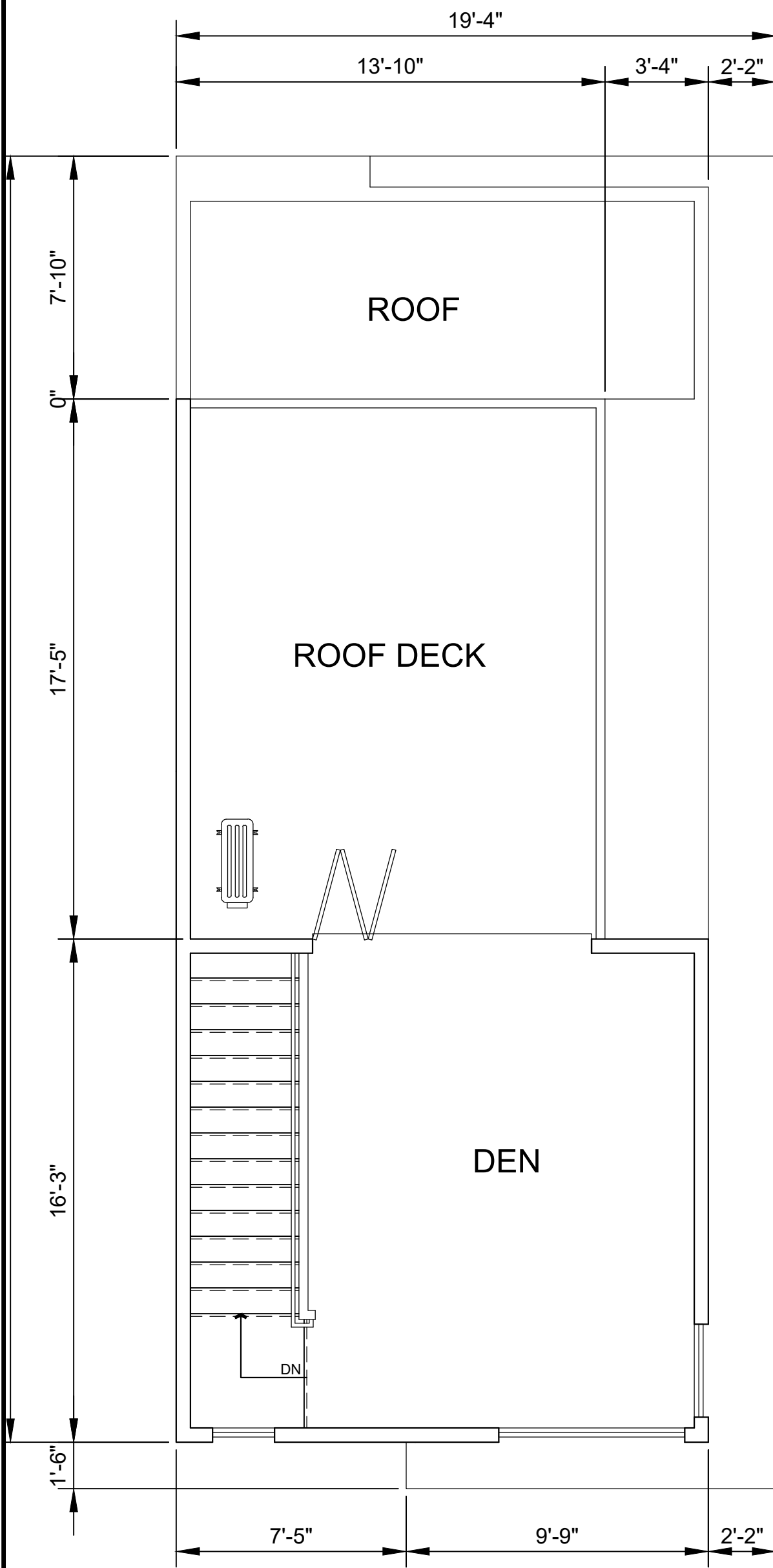
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 DATE: 01-07-20
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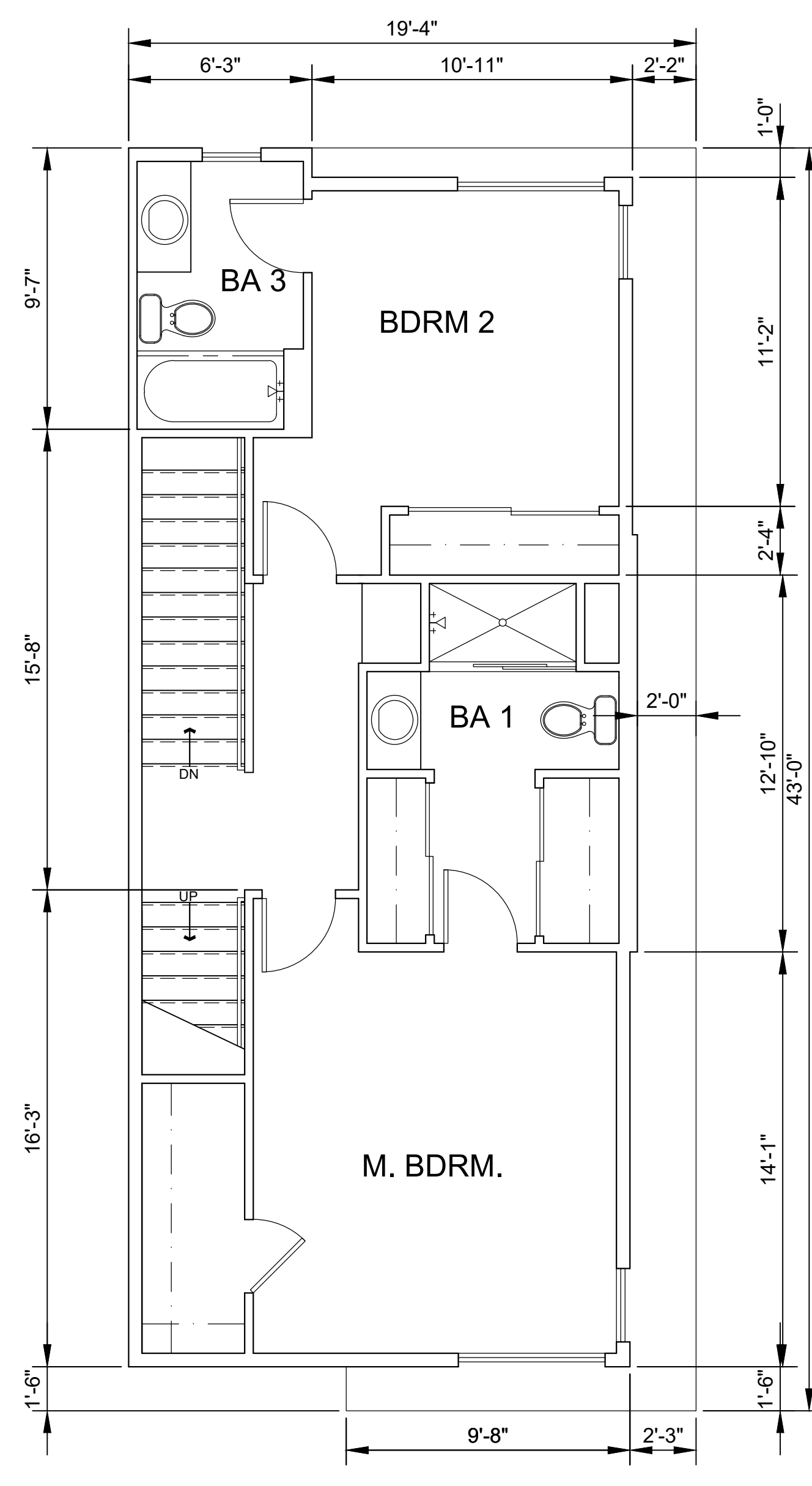
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SHEETS 5 OF 7

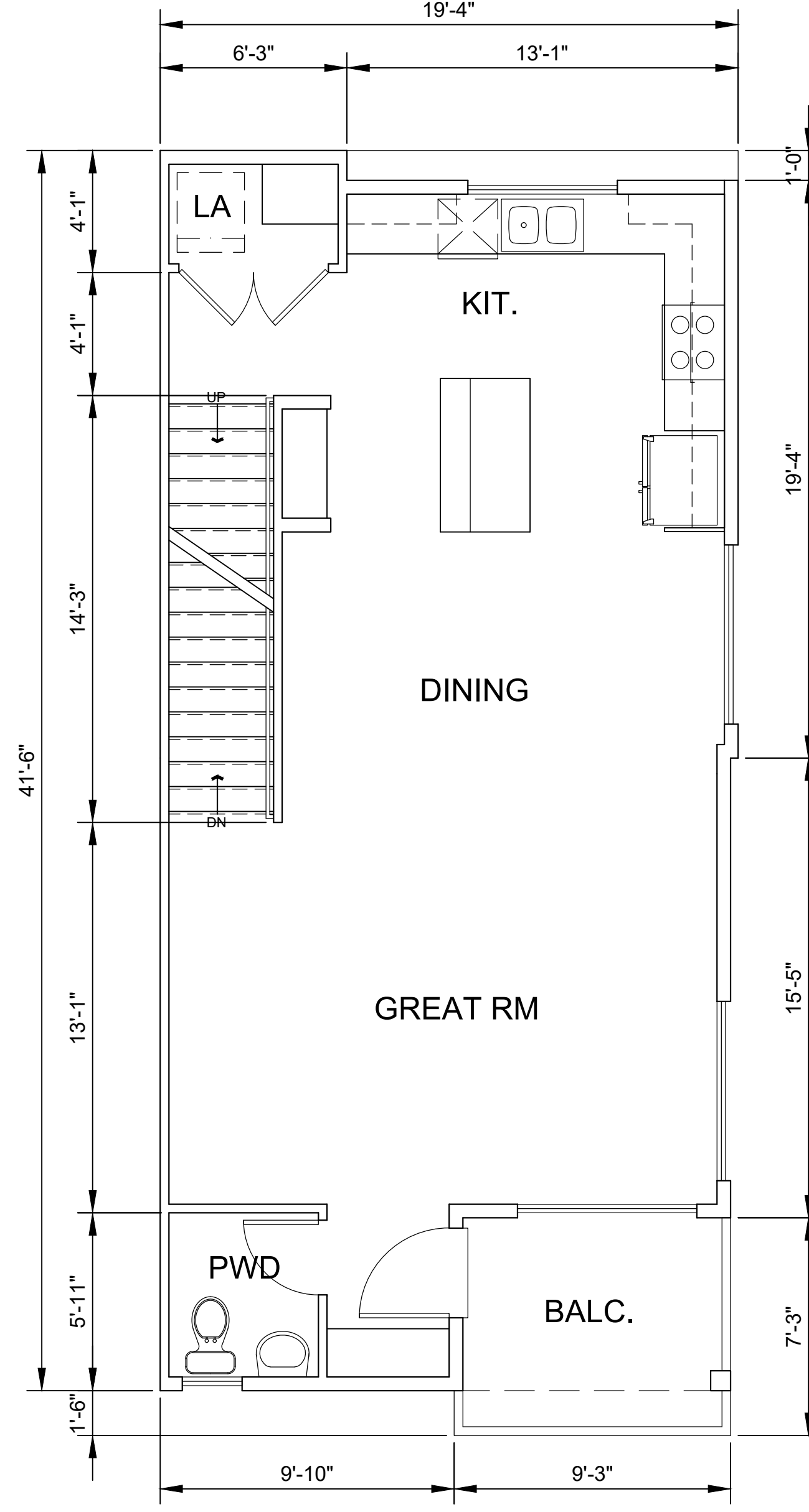
ELEVATIONS



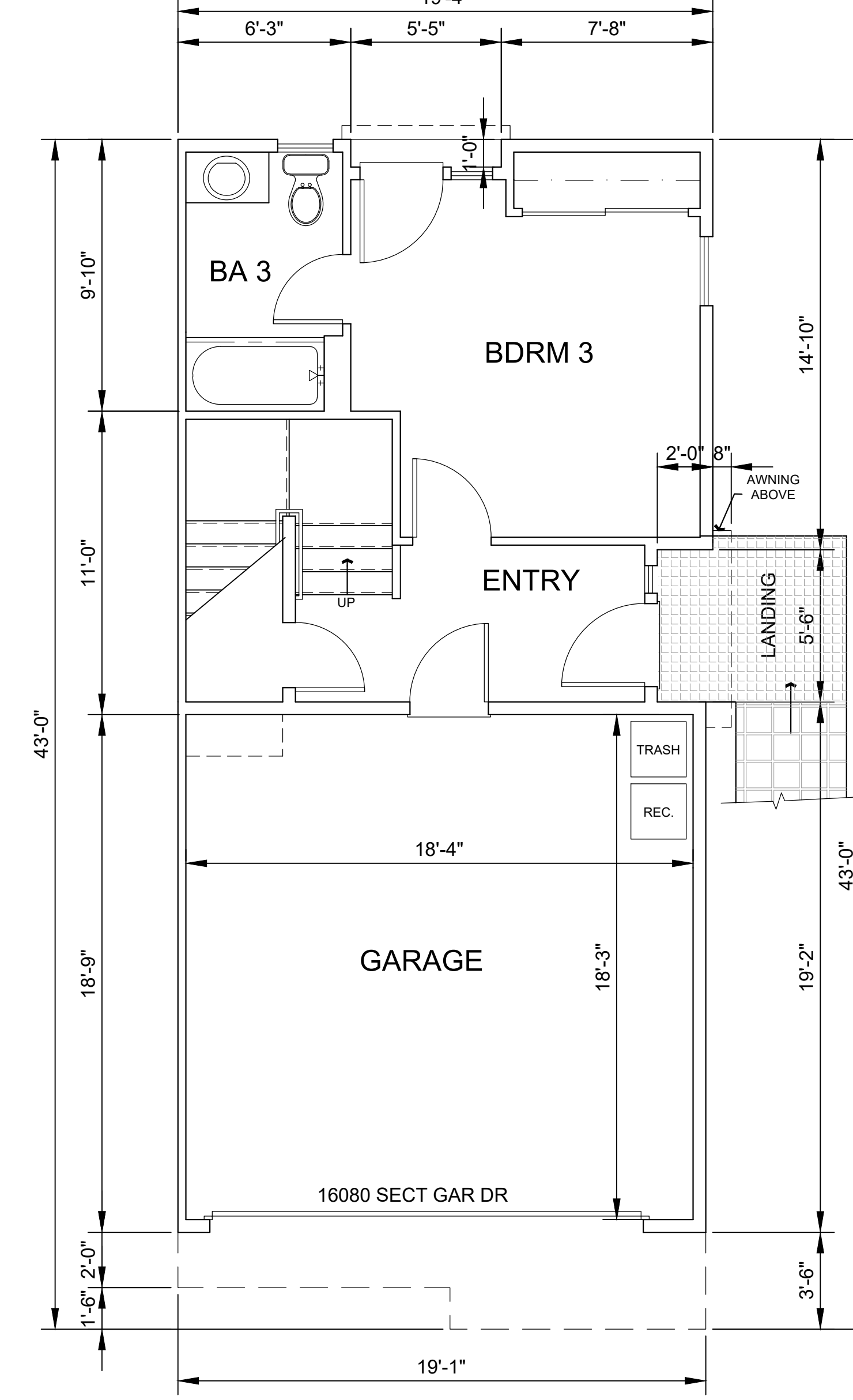
4TH FLOOR



3RD FLOOR



2ND FLOOR



1ST FLOOR

PLAN 2

1ST FLR	385 S.F.
2ND FLR	732 S.F.
3RD FLR	687 S.F.
4TH FLR	252 S.F.
TOTAL	2,056 S.F.
BALCONY	60 S.F.
ROOF DECK	224 S.F.
GARAGE	357 S.F.

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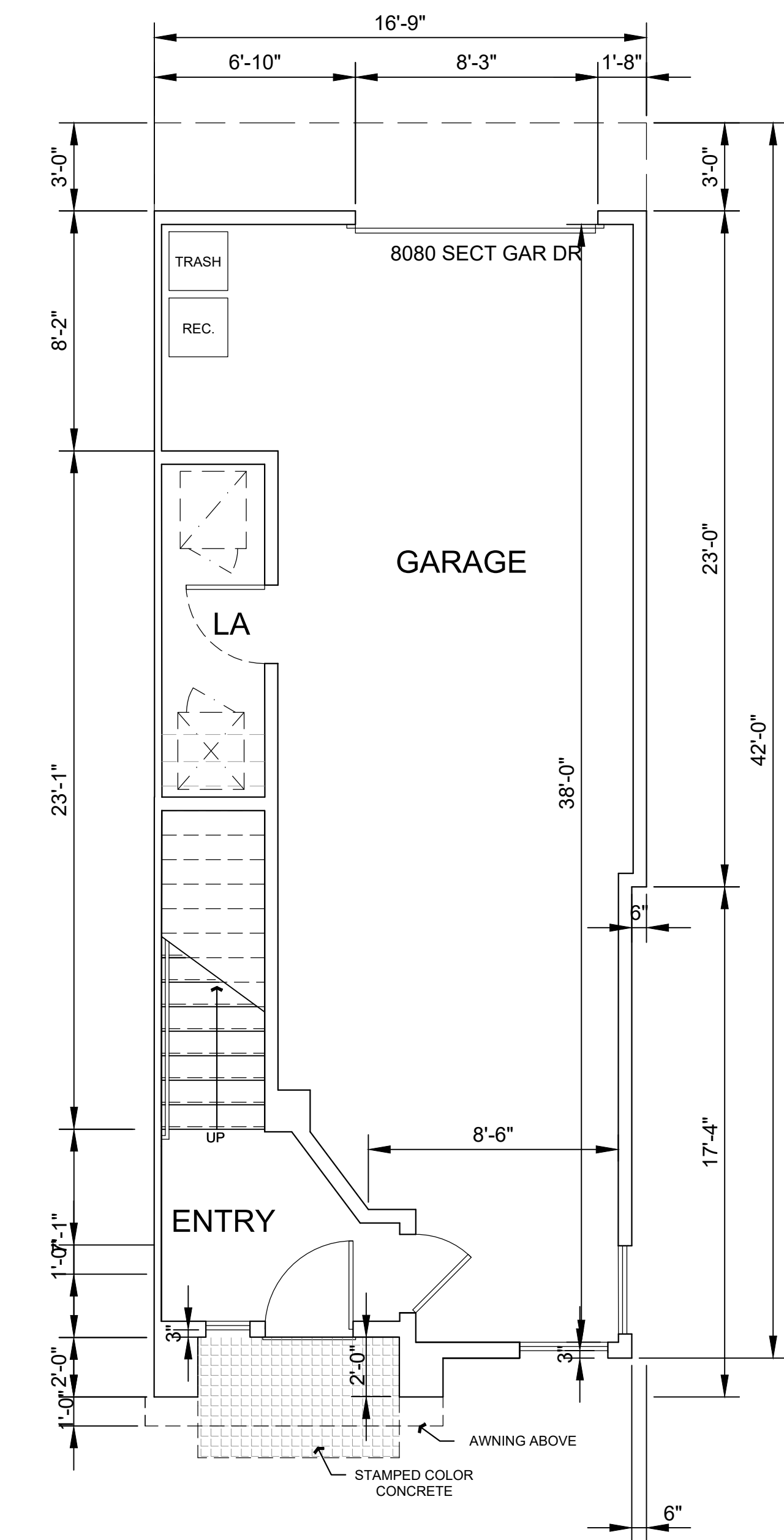
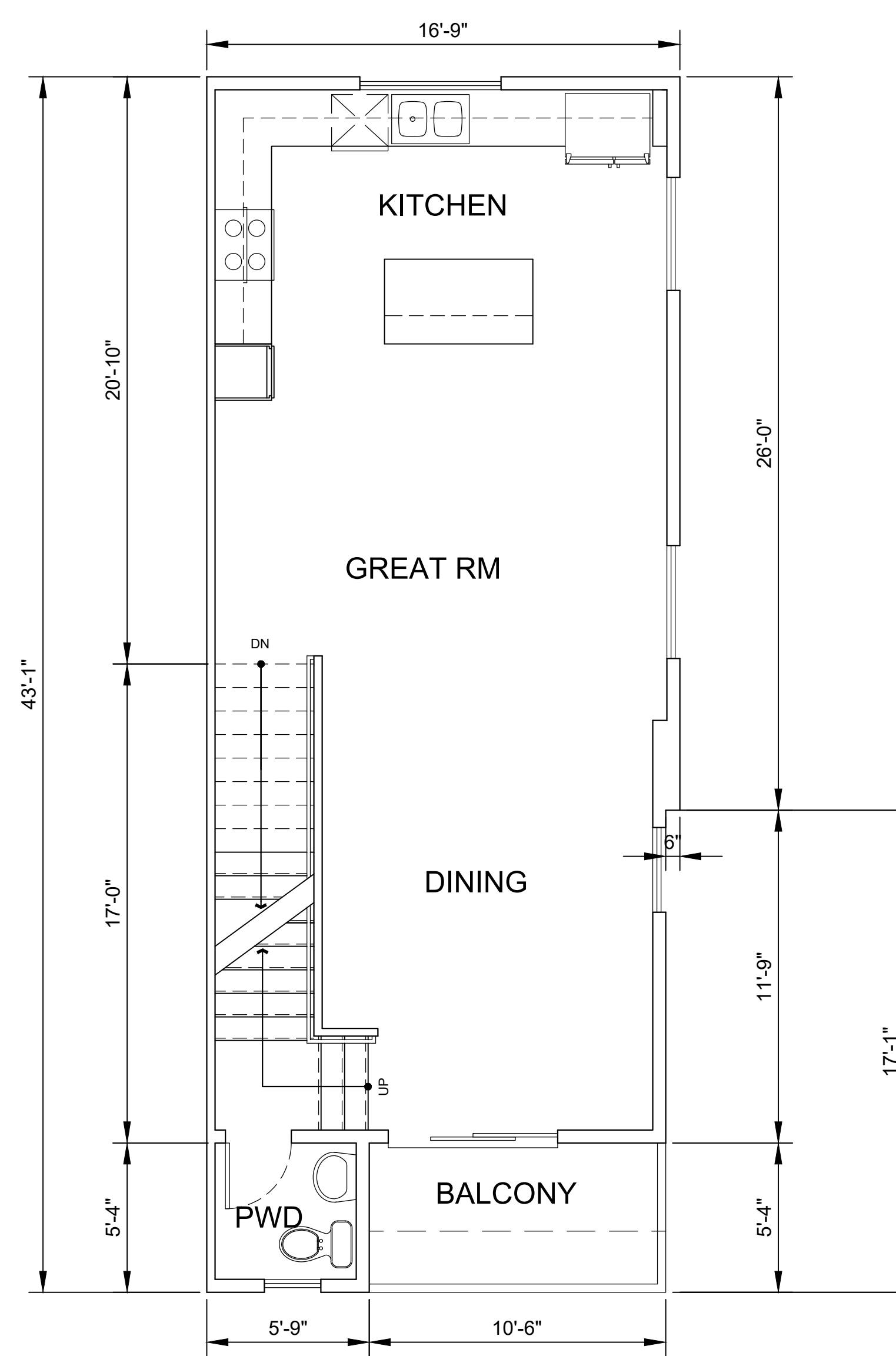
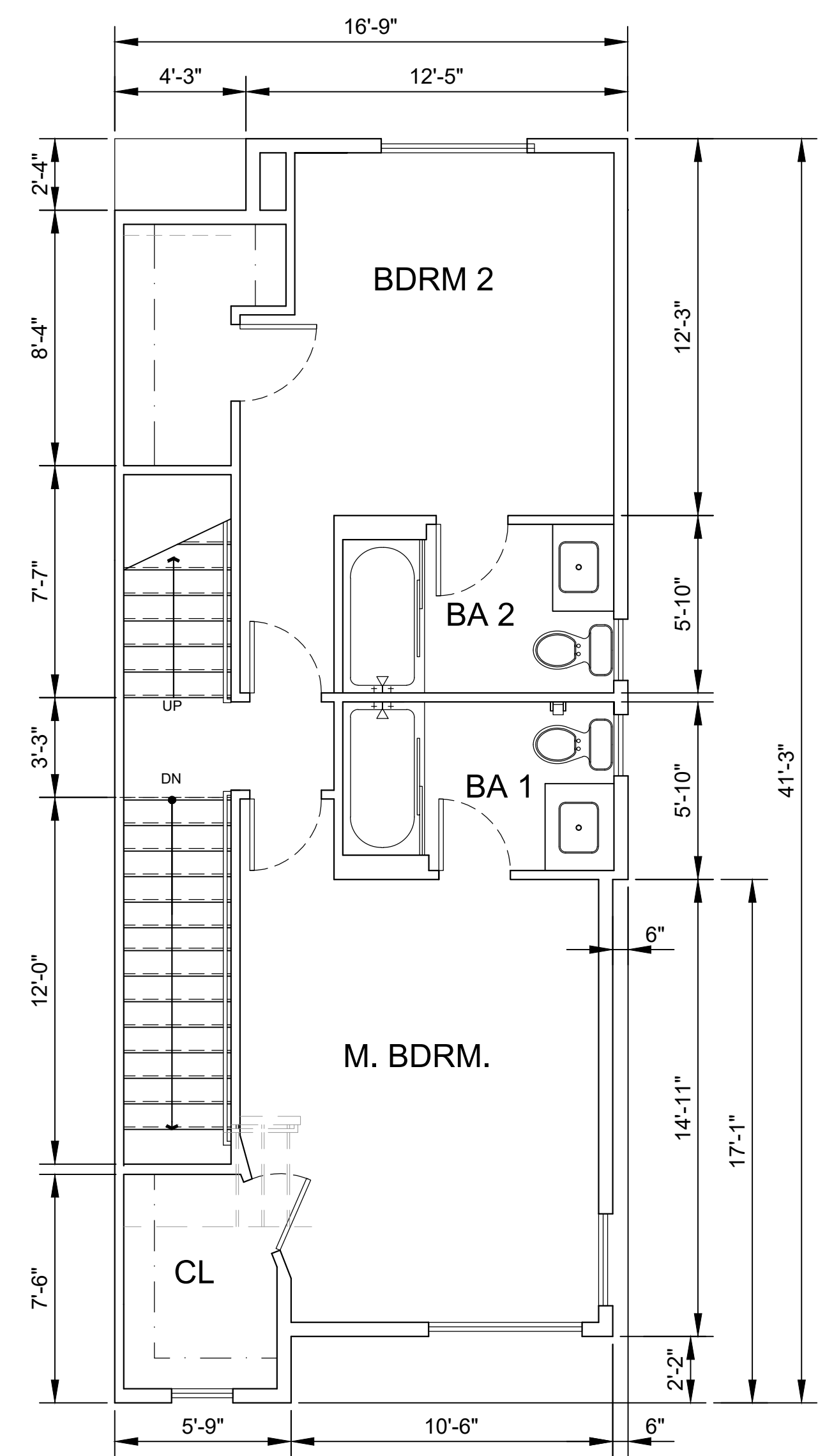
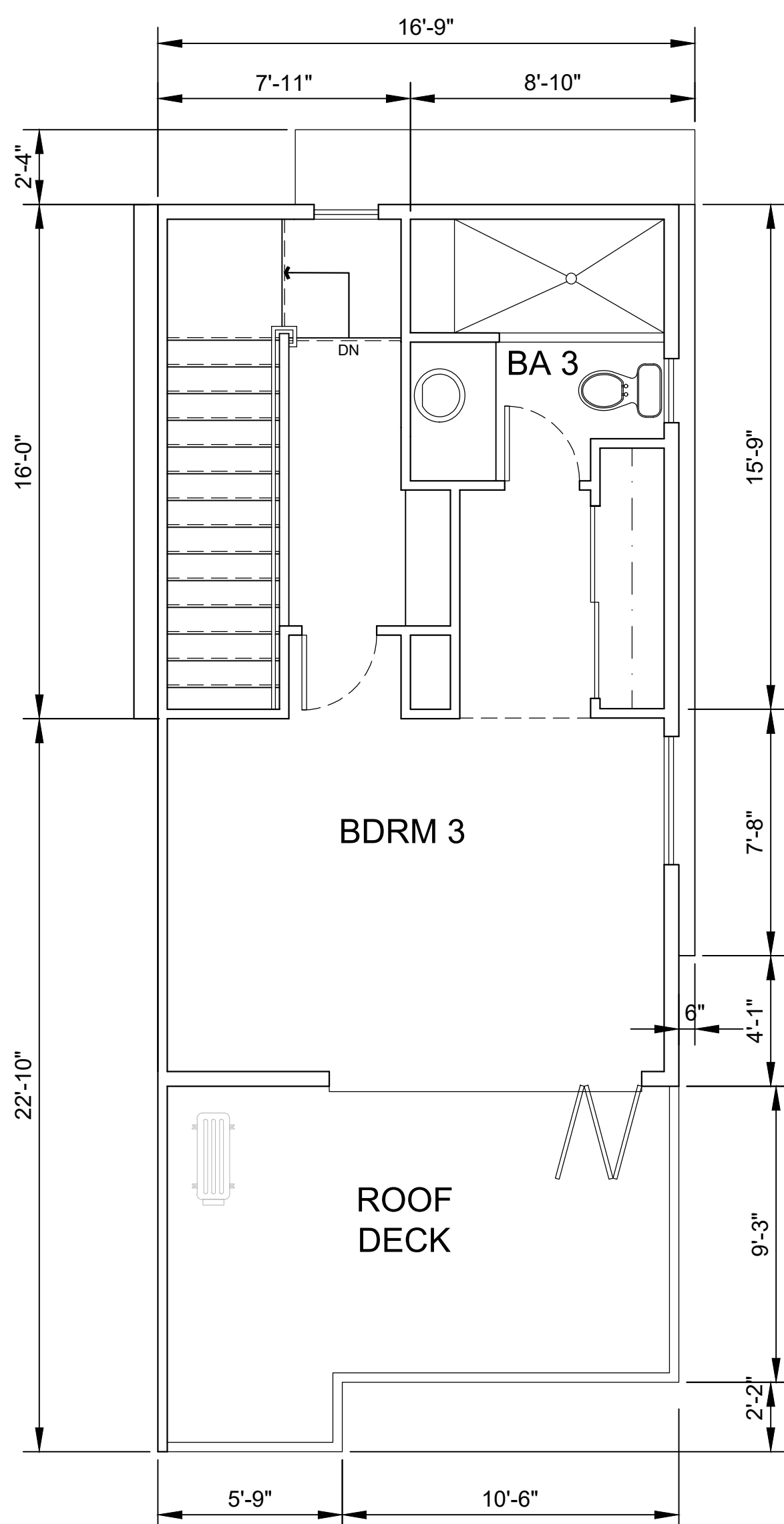
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 DRAWN BY: A.I.
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 DATE: 01-07-20
 SHEET TITLE:

SHEET NUMBER

A.4

PLAN 2

SHEETS 4 OF 7



PLAN 1

1ST FLR	101 S.F.
2ND FLR	657 S.F.
3RD FLR	649 S.F.
4TH FLR	420 S.F.
TOTAL	1,827 S.F.

BALCONY	51 S.F.
ROOF DECK	151 S.F.
GARAGE	502 S.F.

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Art and Interior Design Services
 EXTERIOR and INTERIOR DESIGN SERVICES
 635 W COLORADO ST., ST. 112, GLENDALE, CA 91204
 TEL.: 818-389-3888

PROJECT TITLE: 4 LOT - SMALL LOT DETACHED
 OWNER: URBAN DEVELOPMENT LLC.
 JOB ADDRESS:
 14549 BENEFIT STREET VAN NUYS, CA. 91403

JOB NO.: A-1672
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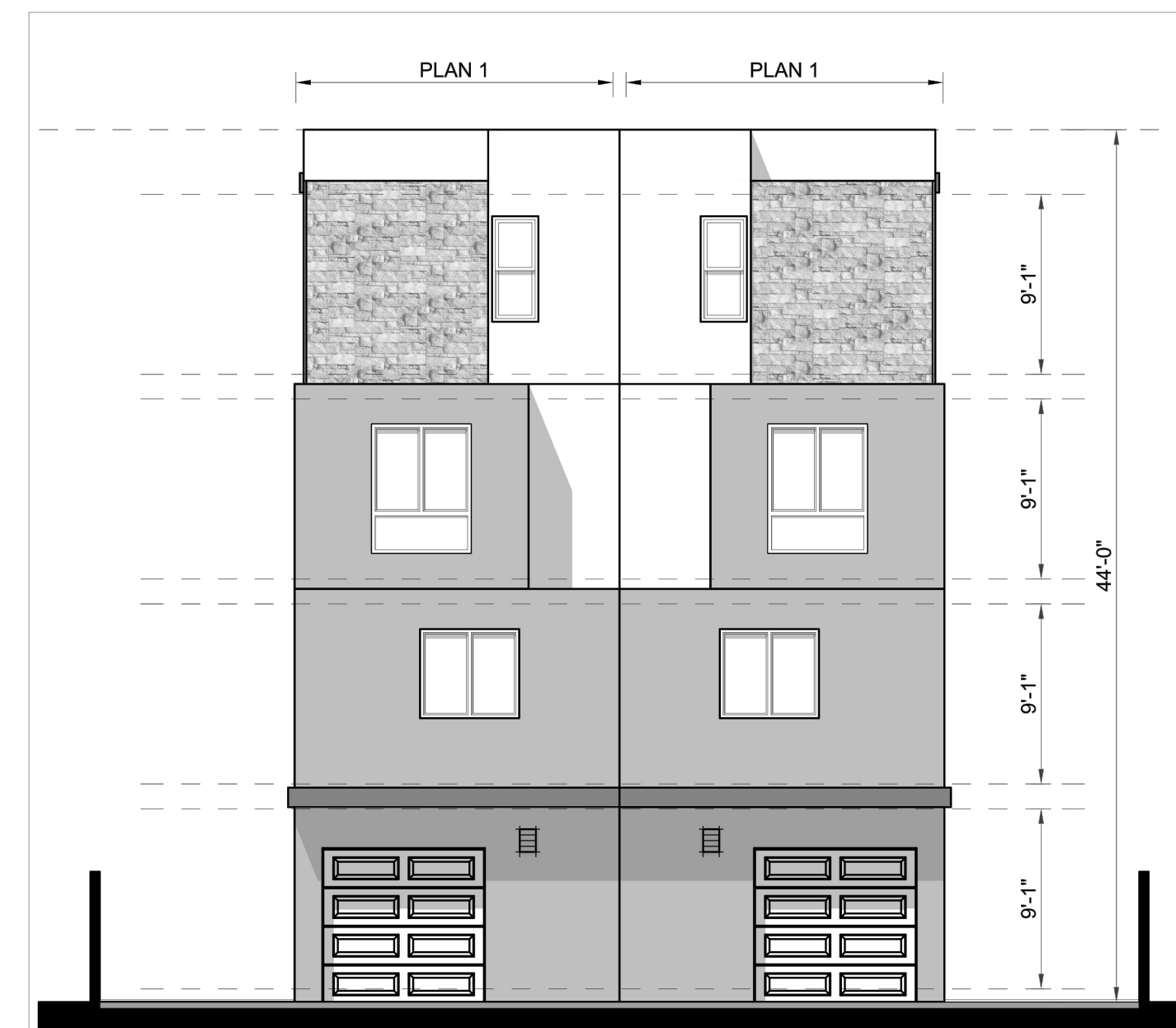
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A.3
 SHEETS 3 OF 7

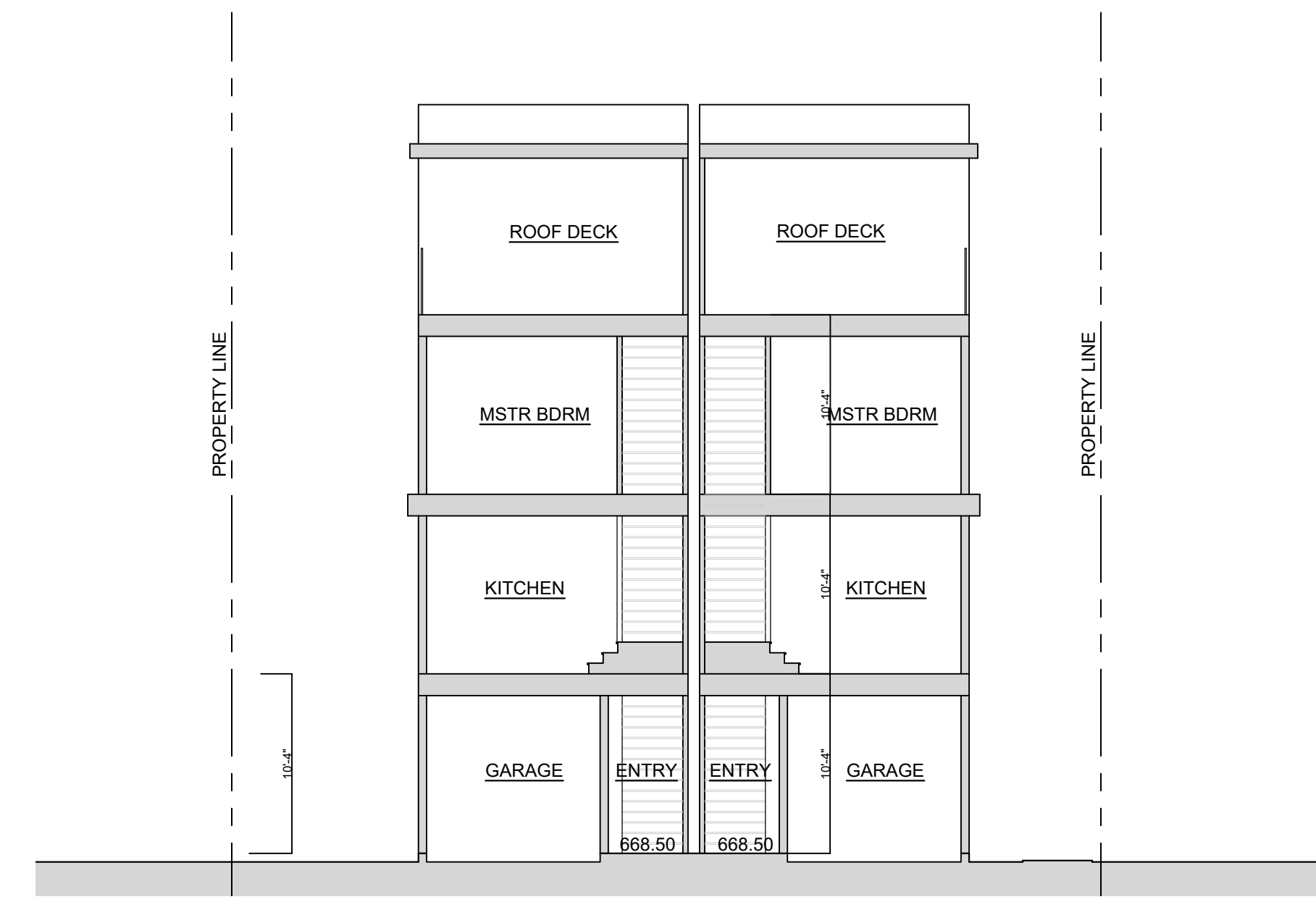
PLAN I



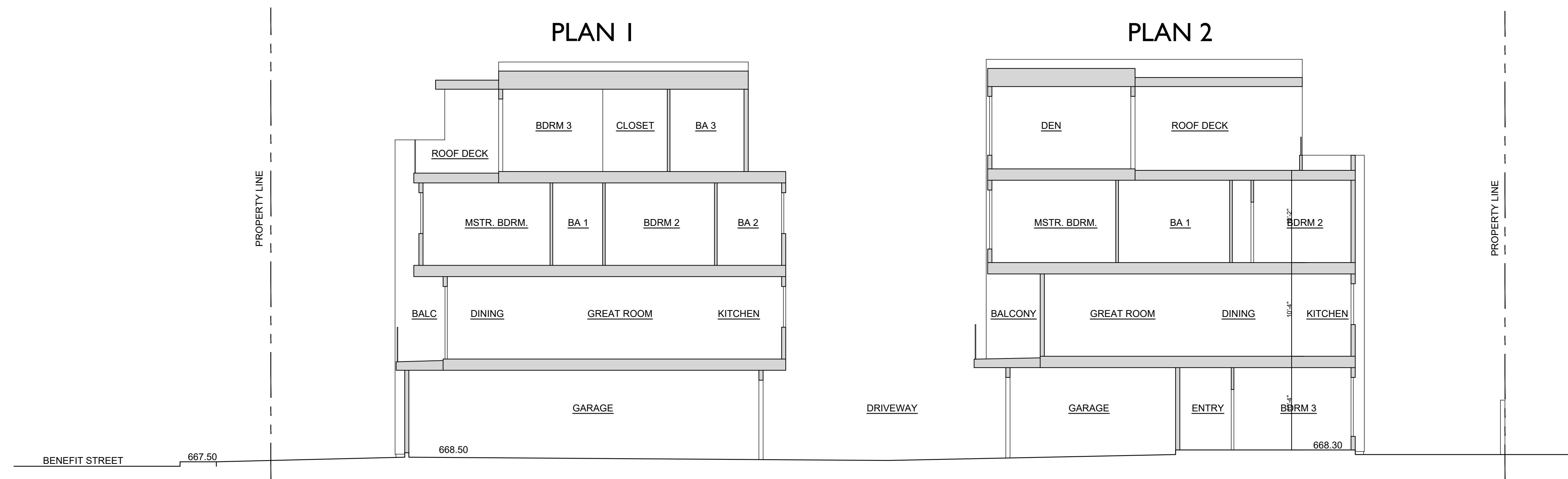
PLAN 2 DRIVE ELEVATION



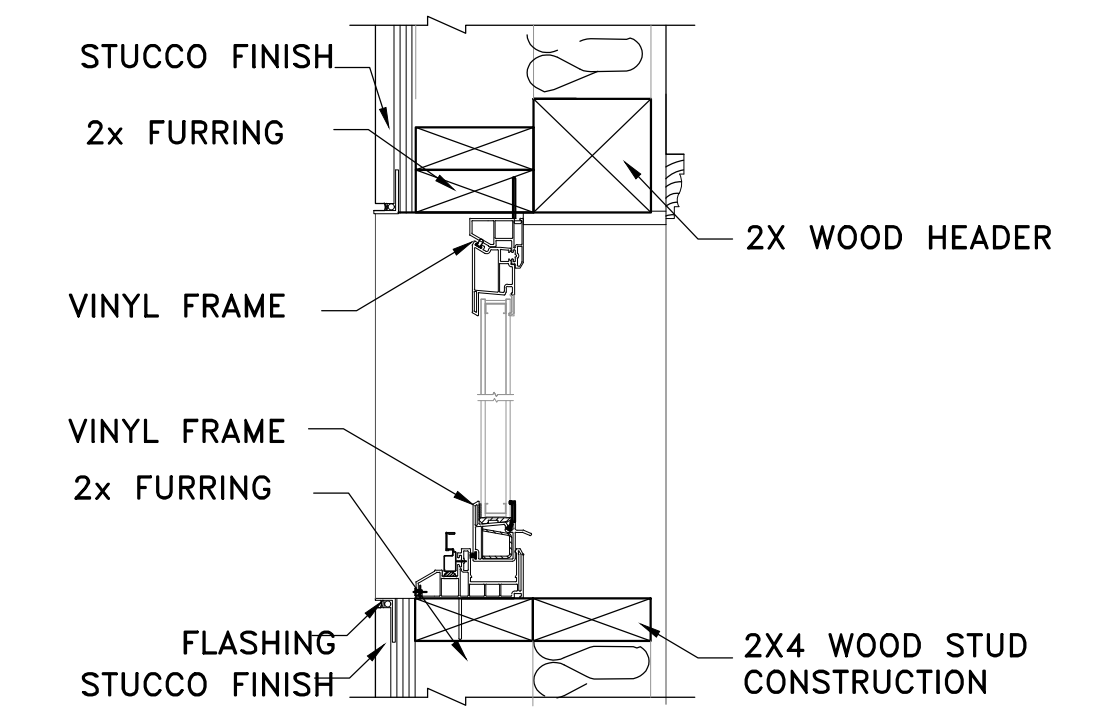
PLAN 1 DRIVE ELEVATION



SITE SECTION B



SITE SECTION A



SINGLE HUNG VINYL WINDOW
IN WOOD STUD CONSTRUCTION

SECTIONS - DRIVE ELEVATIONS

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 SHEET TITLE:

SHEET NUMBER

A.6



NORTHWEST PERSPECTIVE



SOUTH PERSPECTIVE



WEST PERSPECTIVE



MOTORCOURT PERSPECTIVE

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 SHEET TITLE:

SHEET NUMBER

A.2

PERSPECTIVES

SHEETS 2 OF 7



NORTHEAST PERSPECTIVE



SOUTHEAST PERSPECTIVE



WEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

PERSPECTIVES

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PROJECT TITLE: 4 LOT - SMALL LOT DETACHED
 OWNER: URBAN DEVELOPMENT LLC.
 JOB ADDRESS: VAN NUYS, CA. 91403
 14549 BENEFIT STREET

JOB NO.:	A-1672
DRAWN BY:	A.I.
CHECKED BY:	A.I.
DATE:	01-07-20
SHEET TITLE:	

SHEET NUMBER

A.1