



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number
Env. Case Number
Application Type
Case Filed With (Print Name) Date Filed

Application includes letter requesting:

Waived hearing
Concurrent hearing
Hearing not be scheduled on a specific date (e.g. vacation hold)
Related Case Number

Provide all information requested. Missing, incomplete or inconsistent information will cause delays. All terms in this document are applicable to the singular as well as the plural forms of such terms.

1. PROJECT LOCATION

Street Address 5128 Hazeltine Avenue Unit/Space Number
Legal Description Lot 18, Tract 16096
Assessor Parcel Number 2269008010 Total Lot Area 9,011 square-foot

2. PROJECT DESCRIPTION

Present Use Childcare facility serving up to 24 children
Proposed Use Childcare facility serving up to 28 children
Project Name (if applicable)
Describe in detail the characteristics, scope and/or operation of the proposed project Approval of Plans Review pursuant to Condition No. 8 of Case No. ZA 2013-2186(CU)(ZV) with request to modify Condition Nos. 7.b (also grant clause), 12.b, 16.e, 18.c.2, and delete Condition No. 8.

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

Site is undeveloped or unimproved (i.e. vacant)
Site is located within 500 feet of a freeway or railroad
Site has existing buildings (provide copies of building permits)
Site is located within 500 feet of a sensitive use (e.g. school, park)
Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
Site has special designation (e.g. National Historic Register, Survey LA)

1 Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org)

2 Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree
- New construction: _____ square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing _____ – Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴ Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing section 12.24-M Section from which relief is requested (if any): n/a

Request: Approval of Plans Review pursuant to Condition No. 8 of Case No. ZA 2013-2186(CU)(ZV) with request to modify Condition Nos. 7.b (also grant clause), 16.e, 12.b, 18.c.2, and delete Condition No. 8.

Authorizing section _____ Section from which relief is requested (if any): _____

Request: _____

Authorizing section _____ Section from which relief is requested (if any): _____

Request: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) Case No. ZA 2013-2186(CU)(ZV)

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. Case No. ZA 2013-2186(CU)(ZV)

Ordinance No.: _____

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. OTHER AGENCY REFERRALS/REFERENCE

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please check all that apply and provide reference number if known.

Are there any outstanding Orders to Comply/citations at this property? YES (provide copy) NO

Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

Development Services Case Management Number _____

Building and Safety Plan Check Number _____

Bureau of Engineering Planning Referral (PCRF) _____

Bureau of Engineering Hillside Referral _____

Housing and Community Investment Department Application Number _____

Bureau of Engineering Revocable Permit Number _____

Other—specify _____

6. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name Doha Zohbi
Company/Firm Exploring Minds Montessori
Address: 6047 Fulton Avenue **Unit/Space Number** _____
City Valley Glen **State** CA **Zip Code:** 91401
Telephone (818) 312-3575 **E-mail:** _____
Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant
Name (if different from applicant) _____
Address _____ **Unit/Space Number** _____
City _____ **State** _____ **Zip Code:** _____
Telephone _____ **E-mail:** _____

Agent/Representative name R. Nicolas Brown, AICP
Company/Firm Seat at the Table (SATT)
Address: P.O. Box 800439 **Unit/Space Number** _____
City Valencia **State** CA **Zip:** 91380
Telephone (661) 753-9861 **E-mail:** sattgovt@gmail.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) n/a
Name _____
Company/Firm _____
Address: _____ **Unit/Space Number** _____
City _____ **State** _____ **Zip Code:** _____
Telephone _____ **E-mail:** _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other _____

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

Special Instructions for:

**DEEMED-TO-BE-APPROVED OR CONDITIONAL USE, PLAN APPROVAL
ZONE VARIANCE, PUBLIC BENEFIT PLAN APPROVALS
DIRECTOR'S DETERMINATION 12.21 G (OPEN SPACE)**

The **MASTER LAND USE APPLICATION INSTRUCTION SHEET-ABUTTING OWNERS** should also be followed.

ZONING CODE SECTIONS: Conditional Uses 12.24 M; Variances 12.27 U; Open Space 21.21 G; Public Benefits 14.00.

FINDINGS: You may attach additional sheets.

1. That the project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.
The County and City of Los Angeles has continued to experience a shortage of childcare spaces. Therefore, authorizing continued use of the site for childcare with a slight increase of four children (17% increase) provides an essential service. (See Justification Detail)
2. That the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.
No development is proposed and the use shall remain the same. Condition No. 8 of Case No. ZA 2013-2186 (CU)(ZV), required future review. The applicant is requesting modification to Condition Nos. 7.b (also grant clause), 12.b, 16.e, 18.c.2 and delete Condition No. 8. (See Justification Detail and Condition Compliance)
3. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.
An affirmative Finding was made in Case No. ZA 2013-2186(CU)(ZV). (See Justification Detail)

ADDITIONAL QUESTIONS: You may attach additional sheets if there is not enough room to answer in the spaces provided. Please answer all questions that are applicable.

1. Explain why this application is being filed at this time.
Condition No. 8 of Case No. ZA 2013-2186(CU)(ZV), required future review.
2. Is the application for a deemed-to-be-approved conditional use permit or a conditional use plan approval? Check one.
 Deemed to be Approved Plan Approval 12.21 G (Open Space)
3. What is the current zoning on the property? R1-1
What was the zoning when the building was built? R1-1
4. Subject property is level Level sloping _____ rectangular Even irregular-shaped _____ parcel of land.
5. Describe how the site is presently developed, including details such as square footage of buildings, occupancy loads, stories, number of seats, etc. If the site has been destroyed, provide detail of what was destroyed and what remains.
The site is developed with a one-story, 1,871 square-foot, single-family dwelling, built in 1951, and a rear detached garage. The site observes a 15-foot Building Line. (See detail in Justification Detail)

6. Surrounding properties. Fill in the following matrix:

	zones	uses
Northerly	[Q]RD1.5-1	Two-story MFD
Southerly	R1-1	One-story SFD
Westerly	R1-1	One-story SFD
Easterly	R1-1	One-story SFD

7. If you are rebuilding, is it on the same foundation? yes/no n/a Are you adding floor area? yes/no No If yes, how much? n/a sq. ft., n/a %

8. Is a conditional use permit now on the property? yes/no If yes, what type?. CU
 What section of the Municipal Code permits this use(s)? Section 12.24 W,51 Attach a copy of all prior conditional use cases to this application.

9. Is the use site the same size it was when it was established? yes/no yes If the site has changed in size please explain.
n/a

10. Was the use discontinued for a year or more? yes/no No If yes, please explain:
n/a

If the use was discontinued for a period less than one year, give dates.
n/a

11. How many parking spaces are now on the site? 2 How many parking spaces were on the site on the date that the use became established? 2 How many spaces will be required by Code for the proposed addition? 2 What will be the total number of parking spaces required by Code for this site, if the Plan is approved? 2

12. Improvements were originally permitted on 11/14/2013 Building Permit Number See DBAS and Certificate of Occupancy issued on 10/17/2016 (Attach copies.)

The Office of Zoning Administrative Research will primarily be based on business licenses, field check, prior cases and building permits. If you will provide a business license history, copies of building permits, certificates of occupancy and photographs, it will help the staff process this request. Please provide a list of all prior cases and plan approvals.

CASE NO. ZA 2013-2186(CU)(ZV)

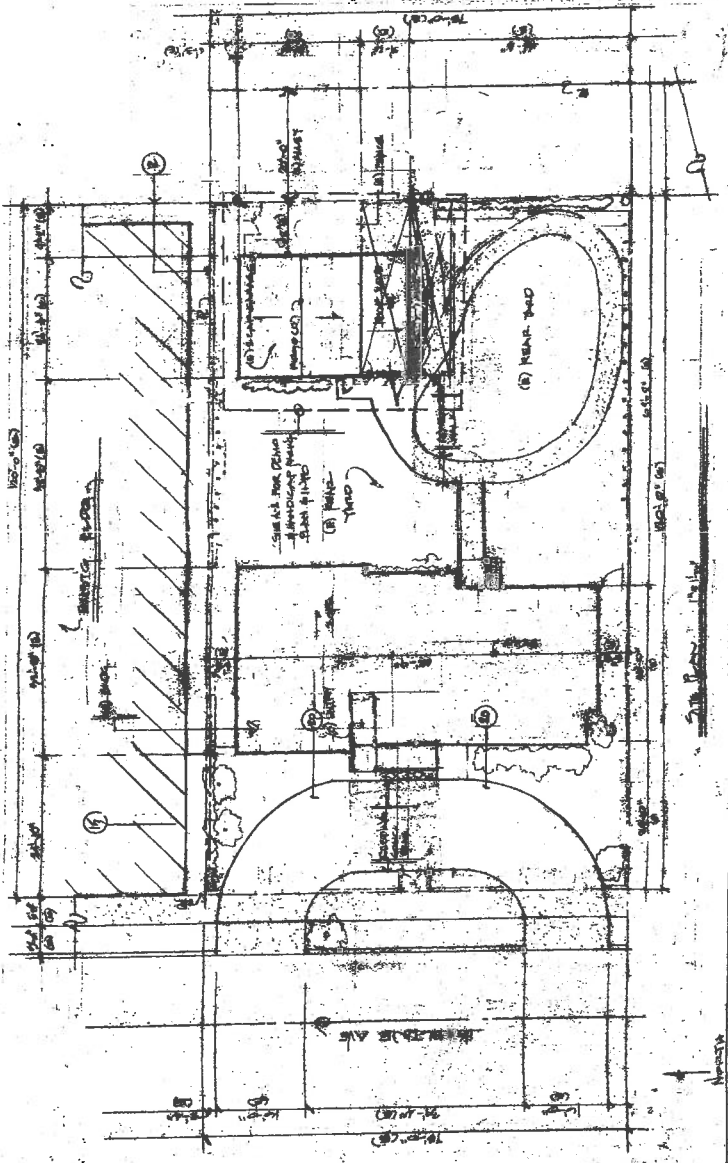
13. How many retail uses did you have originally? n/a How many are you proposing? n/a
 Parking spaces to be provided n/a

14. Describe the public open space and recreational amenities available to the occupants of the project within a 500-foot radius.

Review of Plans
 To comply with the rules of the Board of Civil Engineers, the applicant is required to submit a set of plans for review and approval. The applicant is required to submit a set of plans for review and approval. The applicant is required to submit a set of plans for review and approval.

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2013 2186-CU-2V
 PLAN SHEET 1
 2013 2186-CU-2V
 PLAN SHEET 1

2013-2186-CU

A-1

SHERMAN OAKS NEIGHBORHOOD COUNCIL
Planning and Land Use Committee Meeting

Regarding Exploring Minds Montessori Hazeltine
Applicant's Responses to Instructions ^{1/}

SONC GUIDELINES FOR APPLICANT PRESENTATIONS

1. *Provide a brief description of the proposed project; including type of project, size of the lot, square footage of the building, square footage of the open space, height of building, density and parking. For mixed-use projects, please provide breakdown of above information.*

The existing use is a childcare facility located at 5128 N. Hazeltine Avenue. Pursuant to Case No. ZA 2013-2186-CU-ZV-1A. (SVAPC Action February 17, 2015), upheld by City Council on appeal) a Conditional Use Permit was approved authorizing the conversion of a 1,666 square-foot single family dwelling into a child care facility serving up to 24 children, on a 9,011 square foot lot in the R1-1 Zone operating Monday through Friday, from 8:30 to 4:00 pm.

The applicant is requesting Approval of Plans Review pursuant to Condition No. 8 of Case No. ZA 2013-2186-CU-ZV-A1 with a request to modify Condition Nos.7.b (also grant clause), 12.b, 16.e, 18.c.2, and delete Condition No. 8. (See 03 APPLICATION Justification Detail) No construction or development is proposed

2. *Provide information on all zoning, allowable – height, density and parking requirements. What deviations from the allowable zoning is the applicant requesting, including variances and exceptions?*

Pursuant to Case No. ZA 2013-2186-CU-ZV-1A, a Zone Variance was granted for two (2) parking spaces within the front yard setback and more than 50% of the required front yard to be used for driveway and access not otherwise allowed per Section 12.21-C,1(g). No other deviation from the Los Angeles Municipal Code was approved nor is requested in the Approval of Plans Review.

6. *Please be prepared to address the following issues:*

- a. *What is expected environmental clearance required, EIR, MND, etc.?*

All Approval of Plans receive a Categorical Exemption.

- b. *How will the project address traffic issues, parking, landscaping, architectural scale, adjacent neighbors, and aesthetics?*

^{1/} Use of "Hypertext" in this document is to access related documents without having to scour through the case file. Using the CD allows access to all supporting documents submitted with the application. The CD submitted with the case file was mailed to Sherman Oaks Neighborhood Council. Alternatively, download all documents in the email to a flash or hard drive and use Adobe or Adobe Reader. However, not all supporting documents will be available.