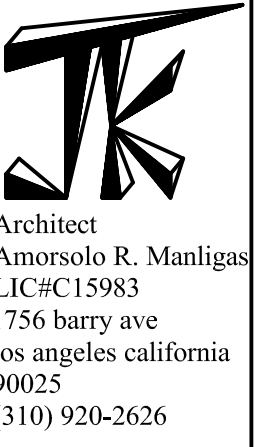


EXISTING 76 GAS STATION / MARKET, WITH NEW AUTOMATIC CARWASH JOB AT: 4822 VAN NUYS BLVD SHERMAN OAKS CA 91403



EXISTING 76 GAS STATION / MARKET,
WITH NEW AUTOMATIC CARWASH
JOB AT: 4822 VAN NUYS BLVD
SHERMAN OAKS CA 91403

11/8/2016

VICINITY MAP	PROJECT SUMMARY	PROJECT SUMMARY	SHEETS INDEX
	<p>OWNER M5. CHANTLY BANAYAN JOB ADDRESS 4822 VAN NUYS BLVD LEGAL DESCRIPTION SHERMAN OAKS CA 91403 TRACT 8294 LOT 12-11 MB 92-19/20 M5 169-5A-1B1 APN#2248-026-021 PROPOSED NEW CARWASH WITHIN E. GAS STATION, MARKET. LAND AREA 18513 (PER ASSESSOR) TOTAL E. BUILD'G MARKET SQFT 1855 SQFT (PER ASSESSOR) TOTAL NEW CARWASH AREA SQFT 1144 SQFT TOTAL E. CANOPY SQFT CANOPY #1 942 + CANOPY #2 346 + 1888 BUILDING COVERAGE 19% TOTAL PARKING SPACES REQUIRED 8 SPACES TOTAL PARKING SPACES PROVIDED 7 SPACES TOTAL PARKING SPACES REQUIRED FOR CANOPY 4 SPACES PARKING SPACES REQUIRED MARKET 1855/250+6 6 SPACES PARKING SPACES REQUIRED FOR CARWASH 1102/500+2 2 SPACES TOTAL PARKING SPACES REQUIRED FOR E. CANOPY 1888/500+5 (PROVIDED UNDER THE CANOPY) 4 SPACES TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 8 SPACES)+2 BICYCLES OUT DOOR AND 2 BICYCLES INDOOR 2 SPACES TOTAL BICYCLE PARKING SPACES REQUIRED 2 LONG TERM 2 SHORT TERM SPACES TOTAL BICYCLE PARKING SPACES PROVIDED 2 LONG TERM 2 SHORT TERM SPACES TOTAL PARKING SPACES REDUCTION ALLOWED 8 + 2 + 6 SPACES PARKING SPACES PROVIDED 6 SPACES STANDARD 5 SPACES (8.33'X18') COMPACT N/A (7.5'X15') DISABLE 1 SPACE (11'X18')</p>	<p>ZONE C15-1VL-RIO TYPE OF CONST' V B OCCUPANCY GROUP OCCUPANCY GROUP MARKET M OCCUPANCY GROUP CARWASH M OCCUPANCY GROUP GAS STATION S1 OCCUPANCY GROUP CANOPY S3 OCCUPANCY LOAD MARKET 45 PERSON OCCUPANCY LOAD CARWASH 4 PERSON LANDSCAPING REQUIRED 18513X10%+18513 SQFT LANDSCAPING PROVIDED 1852 SQFT STORIES ONE HEIGHT 22'-0" FIRE DISTRICT NO 1 LOADING SPACES PROVIDED 400 SQFT FLAME SPREAD CLASSIF III T6-200</p> <p>THIS PROJECT SHALL COMPLY WITH THE CODES OF 2016 CALIFORNIA BUILDING CODE, (IBC) MECHANICAL CODE, PLUMBING CODE & ELECTRICAL CODE (CEC) & CITY ORDINANCE + 2014 LA GREEN BUILDING CODE</p>	<p>A-1 INDEX SHEET A-2 SURVEY MAP A-3 PLOT PLAN FLOOR PLAN ROOF PLAN A-4 ELEVATIONS</p>

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS.

OWNER	MS, CHANTLY BANAYAN
JOB ADDRESS	4822 VAN NUTS BLVD SHERMAN OAKS CA 91403
LEGAL DESCRIPTION	TRACT 8234 LOT 12-11 MB 92-19/20 MB 163-5A-1B1 APN 9248-0206-021
PROPOSED	NEW CARWASH WITHIN E. GAS STATION MARKET.
LAND AREA	18513 (PER ASSESOR)
TOTAL E. BUILD'G MARKET SQFT	1555 SQFT (PER ASSESOR)
TOTAL NEW CARWASH AREA SQFT	1144 SQFT
TOTAL E. CANOPY SQFT	CANOPY # 1 942 + CANOPY # 2 946 + 1888 SQFT
BUILDING COVERAGE	19%
TOTAL PARKING SPACES REQUIRED	8 SPACES
TOTAL PARKING SPACES PROVIDED	7 SPACES
TOTAL PARKING SPACES REQUIRED FOR CANOPY	4 SPACES
PARKING SPACES REQUIRED MARKET 1555/250=6	6 SPACES
PARKING SPACES REQUIRED FOR CARWASH 1144/500=2	2 SPACES
TOTAL PARKING SPACES REQUIRED FOR E. CANOPY 1888/500=4	4 SPACES
TOTAL PARKING SPACES REPLACED WITH BICYCLE PARKING, ALLOWED (20% X 8 SPACES)=2	2 SPACES
2 BICYCLES OUT DOOR AND 2 BICYCLES INDOOR	
TOTAL BICYCLE PARKING SPACES REQUIRED	2 LONG TERM 2 SHORT TERM SPACES
TOTAL BICYCLE PARKING SPACES PROVIDED	2 LONG TERM 2 SHORT TERM SPACES
TOTAL PARKING SPACES REDUCTION ALLOWED	8 + 2 = 6 SPACES
PARKING SPACES PROVIDED	6 SPACES
STANDARD	5 SPACES (8.33'X18')
COMPACT	N/A (1.5'X18')
DISABLE	1 SPACE (11'X18')
ZONE	C15-VL-RIO
TYPE OF CONST'	V B
OCCUPANCY GROUP	
OCCUPANCY GROUP MARKET	M
OCCUPANCY GROUP CARWASH	M
OCCUPANCY GROUP GAS STATION	91
OCCUPANCY GROUP CANOPY	53
OCCUPANCY LOAD MARKET	48 PERSON
OCCUPANCY LOAD CARWASH	4 PERSON
LANDSCAPING REQUIRED	18513X10%=1851.3 SQFT
LANDSCAPING PROVIDED	1852 SQFT
STORIES	ONE
HEIGHT	22'-0"
FIRE DISTRICT NO 1	
LOADING SPACES PROVIDED	400 SQFT
FLAME SPREAD CLASSIF'	III 16-120

VAN NUTS BOULEVARD

508.24'

133.25'

N 00°00'05" E

699.9'

659.47 TC
658.80 FL

659.33 TC
658.54 FL

659.25 TC
658.25 FL

658.67 TC
658.98 FL

659.57 TC
658.87 FL

659.91 TC
658.91 FL

659.86 TC
658.91 FL

658.70 FL

660.06 AC

660.18 AC

660.04 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

660.01 FS

659.45 TC
658.74 FL

659.76 TC
659.05 FL

659.87 TC
659.16 FL

659.91 TC
659.20 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

659.87 TC
659.16 FL

www.coolroofs.org/products

AT ALL FLAT ROOFS INSTALL PER FOLLOWING AND MANUFACTURING SPEC

CRRC PROD. ID 0668-0081

MANUFACTURER: BRAND MODEL CertainTeed Corporation:
Commercial CoolStar Membranes
Flintlastic G16-FR CoolStar,
Flintglas M9 Cap CoolStar,
Flintlastic GTA-FR CoolStar,
Flintlastic FR-F CoolStar,
Flintlastic 9A Cap FR CoolStar,
Flintlastic FR Cap 30 CoolStar,
Flintlastic GTA CoolStar,
Flintlastic 9A Cap CoolStar,
Flintlastic G16 CoolStar,
Flintlastic FR Cap 30 T CoolStar,
Flintlastic Premium FR-F CoolStar,
Flintlastic FR Dual Cap CoolStar,
Flintlastic FR Dual Cap CoolStar

PRODUCT TYPE Membrane: Built-up and Modified Bitumen Sheet Roofing

COLOR Bright White

SOLAR REFLECTANCE Initial, 0.70 3 year, 0.59

THERMAL EMITTANCE Initial, 0.90 3 year, 0.85

SRI Initial 86 3 year 63

SLOPED ROOF

CRRC PROD. ID 1064-0024

MANUFACTURER: BRAND MODEL Auburn Tile: Auburn Tile Inc. Adobe

PRODUCT TYPE Steep Slope: Concrete/Clay Tile and Slates

COLOR Green Brown
SOLAR REFLECTANCE Initial 0.22 3 year 0.22
THERMAL EMITTANCE Initial 0.93 3 year 0.91

SRI Initial 23 3 year 22

Report Number: 25111
CSI / Model Number: 0140
Manufacturer: Custom-Bilt Metals
Products: Standing Seam Metal Roofing
INSTALL PER MAINF SPEC

CLASS "A" ROOFING
Report Number: 25114
CSI / Model Number: 01100
Manufacturer: Mer-Kote/Farex Lahabra
Products: Mer-Ko Shur Deck Roof and Walking Deck System
ER-5960

CLASS "A" ROOFING
INSTALL FIBER CANT STIPS AS NECESSARY NAIL DOWN NEW 25LB GLAS BASE SHEET HOT MOP W/MOLTEN ASPHALT AND INSTALL SECOND LAYER IILB GLASPLY SHEET HOT MOP AGAIN AND INSTALL 3RD LAYER IILB GLASPLY SHEET HOT MOP AGAIN IMBED NEW T2LB MINERAL SURFACE FIBER GLASS CAP SHEET WRAP ALL PARAPET WALLS W/ONE LAYER 25LB GAL9 BASE SHEET AND FINAL LAYER T2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT.
FOR PITCH ROOF
INSTALL BASE FRF MAINFG SPECIFICATIONS, MCA CLAY ROOFING TILE RR#24556

CLASS "A" ROOFING
INSTALL FIBER CANT STIPS AS NECESSARY NAIL DOWN NEW 25LB GLAS BASE SHEET HOT MOP W/MOLTEN ASPHALT AND INSTALL SECOND LAYER IILB GLASPLY SHEET HOT MOP AGAIN AND INSTALL 3RD LAYER IILB GLASPLY SHEET HOT MOP AGAIN IMBED NEW T2LB MINERAL SURFACE FIBER GLASS CAP SHEET WRAP ALL PARAPET WALLS W/ONE LAYER 25LB GAL9 BASE SHEET AND FINAL LAYER T2LB MINERAL SURFACE CAP SHEET SEAL ALL PIPES, VENTS AND OTHER PROTRUSIONS W/PLASTIC ROOF CEMENT.

INSTALL #4" GUTTER AND DOWN SPOT AS NECESSARY AT EACH CORNER

GUTTER SHALL BE ANODIZED ALUMINUM WHITE OR COLOR TO MATCH THE BUILDG

INSTALL 24 GA GI FLASHING ON ALL PARAPETS TYP

INSTALL 5X5 SHEET METAL AT ALL CONNECTIONS OF WALLS AND ROOF

1" STUCCO ON ALL EXTERIOR WALLS OVER WATER PROOF PAPER AND LATE. 5/8" GYP BRD TYPE "X" OVER ALL WALLS AND CEILINGS.
INSTALL WEEP SCRED "Z" STRAP FLASHING AT END OF STUCCO.
R13 INSUL AT ALL EXTERIOR WALLS.

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN AIR SPACE OF NOT LESS THEN 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/80th OF THE AREA OF THE SPACE VENTILATED, REF. 2013 CBC SECT 1203.2

ENERGY EFFICIENCY

8. For nonresidential buildings of three stories or less, comply with the following:

a. Designate on the roof plan solar zone area(s) with total area equal to or greater than 15% of the building's roof area. The solar zone shall be comprised of areas that have no dimension less than 5 feet and each area shall not be less than:

i. 80 sq ft for roof areas of 10,000 sq ft or less

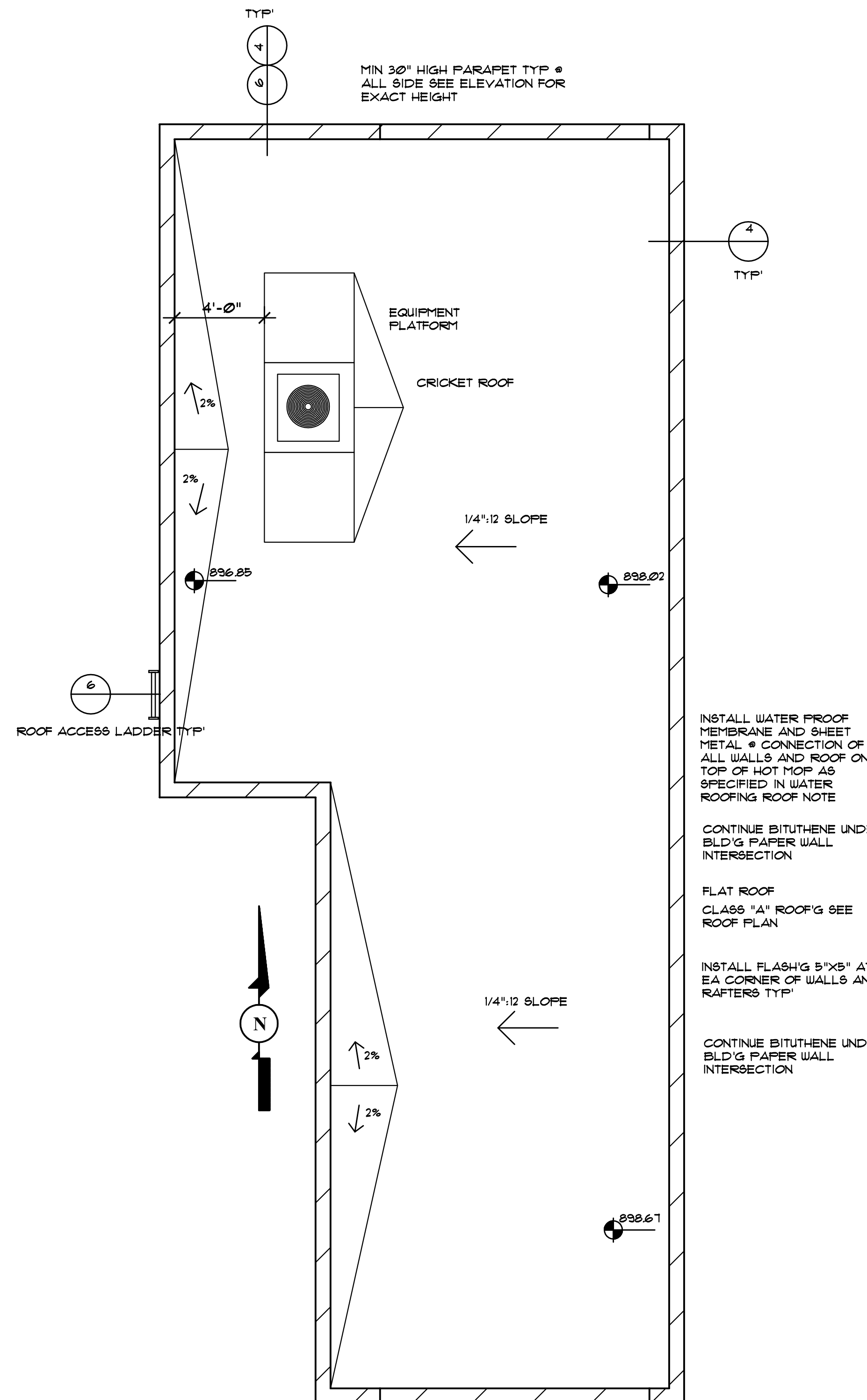
ii. 160 sq ft for roof areas over 10,000 sq ft.
b. For roof slopes R 2:12 (9.5° from horizontal), show that the solar zone is oriented between 110° and 210° of true north.

c. The solar zone shall be free of obstructions and be setback at least two times the height of any obstruction, including but not limited to, vents, chimneys, and equipment.

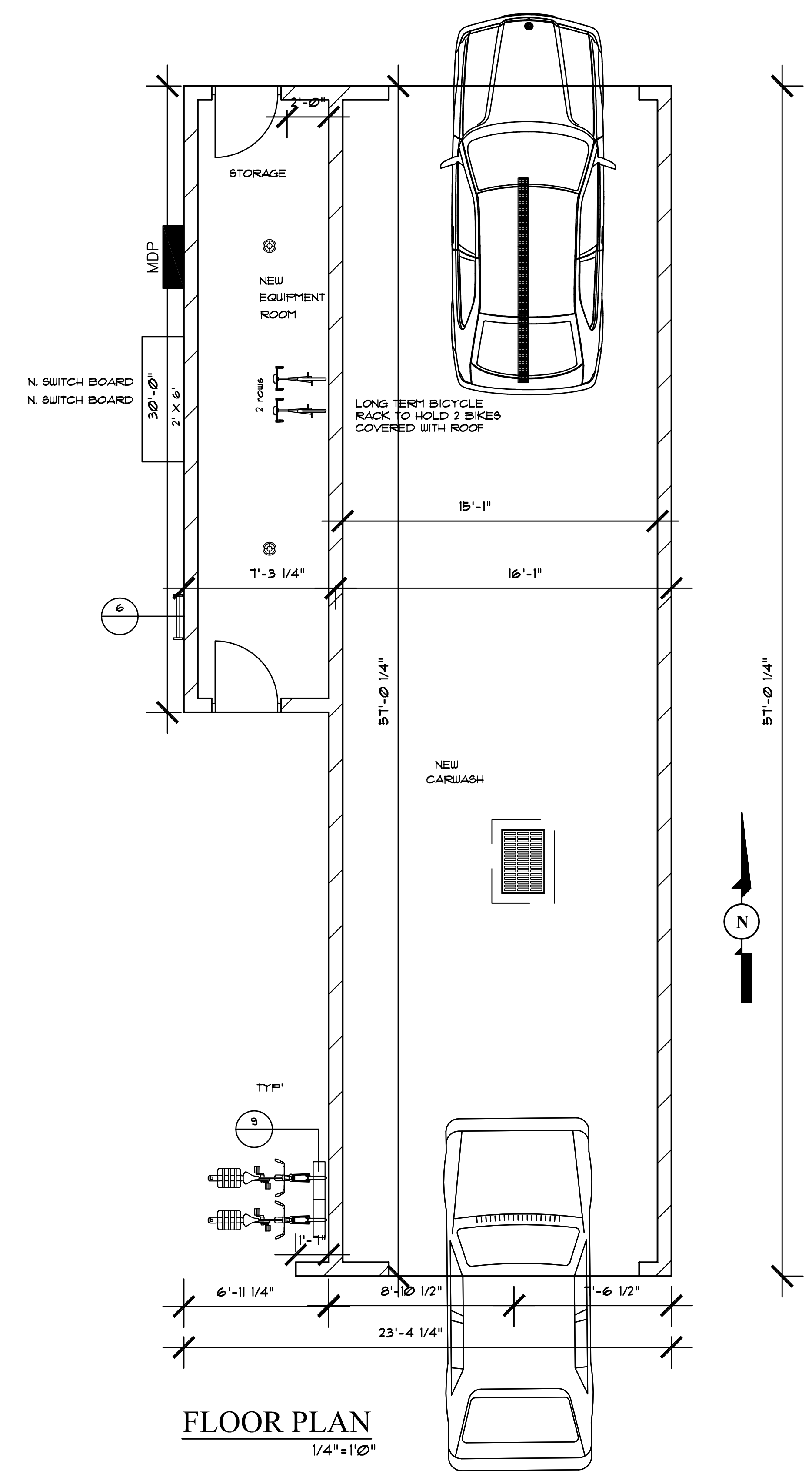
d. Plans shall indicate a location for inverters and metering equipment and a pathway for routing from the solar zone to the main service panel.

e. Plans shall indicate a pathway for routing of plumbing from the solar zone to the water-heating system. (5.211, Energy Code §10.10)

9. "A copy of the construction documents or a comparable document indicating the information from Energy Code Section 10.10(b) through 10.10(c) shall be provided to the occupant." (Energy Code §10.10(d))



ROOF PLAN
1/4" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"

INSTALL WATER PROOF MEMBRANE AND SHEET METAL # CONNECTION OF ALL WALLS AND ROOF ON TOP OF HOT MOP AS SPECIFIED IN WATER ROOFING ROOF NOTE

CONTINUE BITUTHENE UNDER BLD'G PAPER WALL INTERSECTION

FLAT ROOF CLASS "A" ROOFING SEE ROOF PLAN

INSTALL FLASHING 5"X5" AT EA CORNER OF WALLS AND RAFTERS TYP

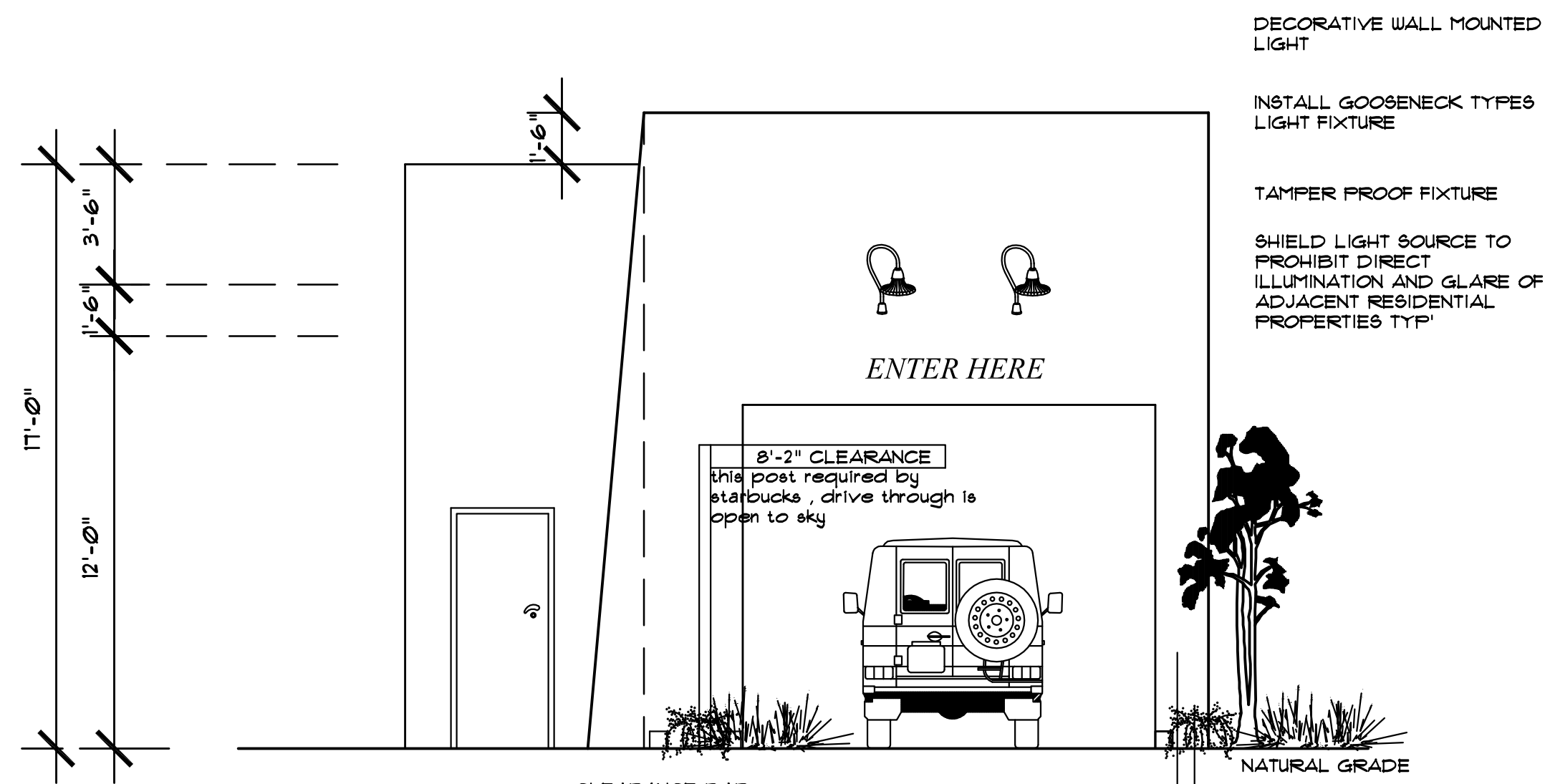
CONTINUE BITUTHENE UNDER BLD'G PAPER WALL INTERSECTION

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THEN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS

ALL SIGNS SHALL BE UNDER SEPARATE PERMIT



SOUTH ELEVATION

DECORATIVE WALL MOUNTED LIGHT
INSTALL GOOSENECK TYPES LIGHT FIXTURE
TAMPER PROOF FIXTURE
SHIELD LIGHT SOURCE TO PROHIBIT DIRECT ILLUMINATION AND GLARE OF ADJACENT RESIDENTIAL PROPERTIES TYP

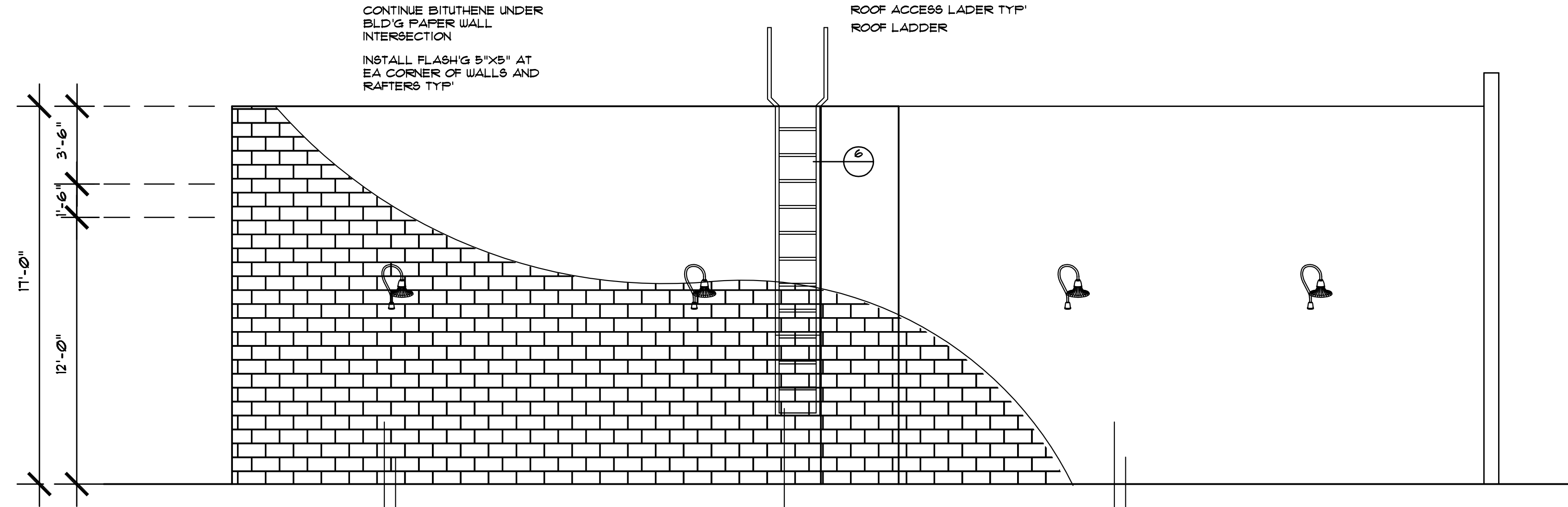
CLEARANCE BAR
PAINT DOWN SPOTS TO MATCH THE BUILDING TYP

8'-2" CLEARANCE
this post required by state trucks, drive through is open to sky

NATURAL GRADE

1" STUCCO w/ 1/2" STUCCO CONTROL JOINTS, VERIFY TEXTURE W/OWNER
WEEP SCREED MIN' 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA
ANTI GRAFFITI COAT'G GRAFFITI MELT RR25030
UP TO 9'-0" ABOVE THE GRADE TYP

CONTINUE BITUTHENE UNDER BLD'G PAPER WALL INTERSECTION
INSTALL FLASH'G 5"X8" AT EA CORNER OF WALLS AND RAFTERS TYP



WEST ELEVATION

1" STUCCO w/ 1/2" STUCCO CONTROL JOINTS, VERIFY TEXTURE W/OWNER
WEEP SCREED MIN' 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA
ANTI GRAFFITI COAT'G GRAFFITI MELT RR25030
UP TO 9'-0" ABOVE THE GRADE TYP

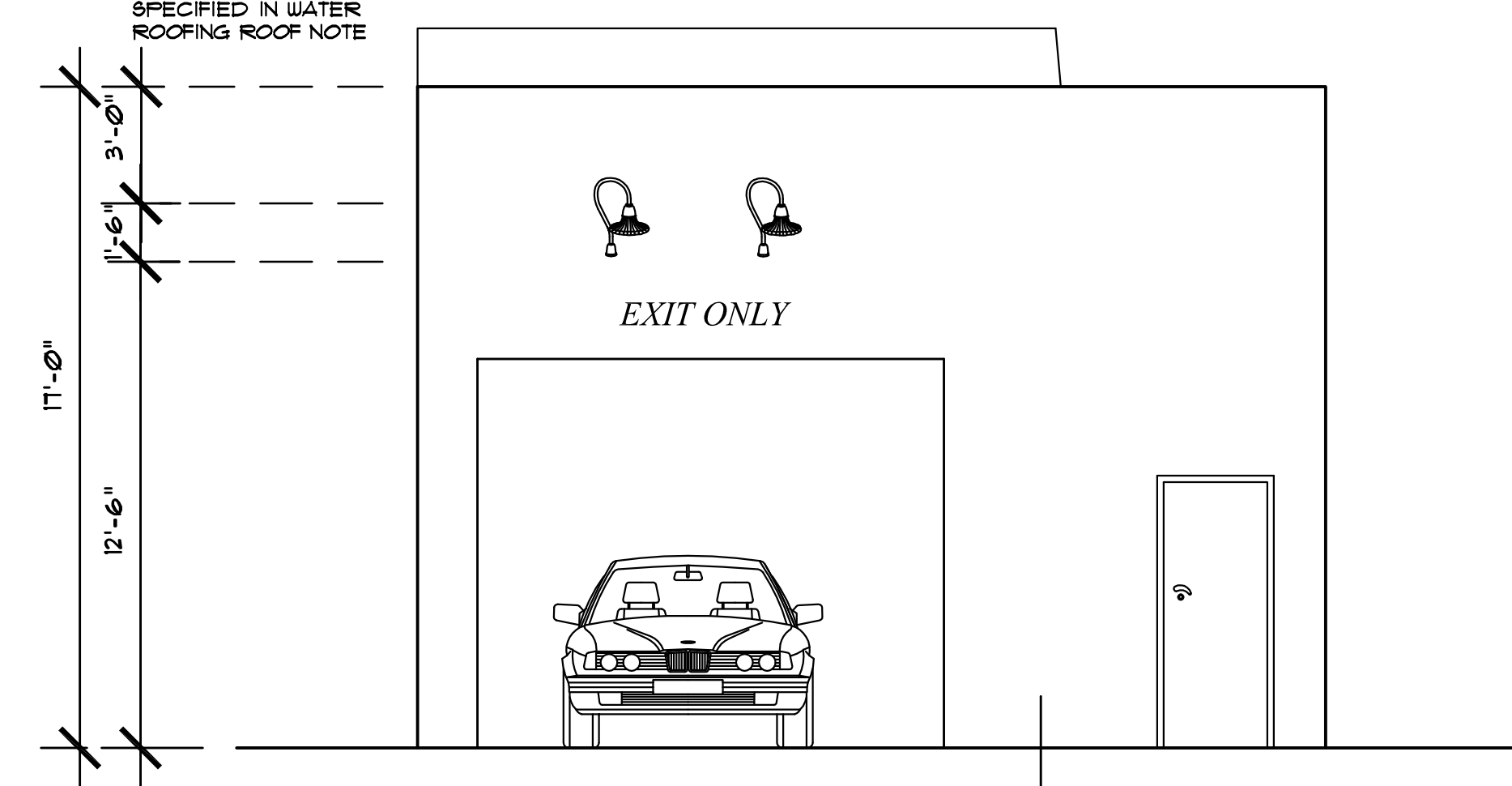
ROOF ACCESS LADDER TYP
ROOF LADDER

PROVIDE METAL SECURITY DOOR WITH HASP & LOCK TO PREVENT UNAUTHORIZED ACCESS, PAINT TO MATCH ADJACENT WALL

1" STUCCO w/ 1/2" STUCCO CONTROL JOINTS, VERIFY TEXTURE W/OWNER
WEEP SCREED MIN' 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA
ANTI GRAFFITI COAT'G GRAFFITI MELT RR25030
UP TO 9'-0" ABOVE THE GRADE TYP

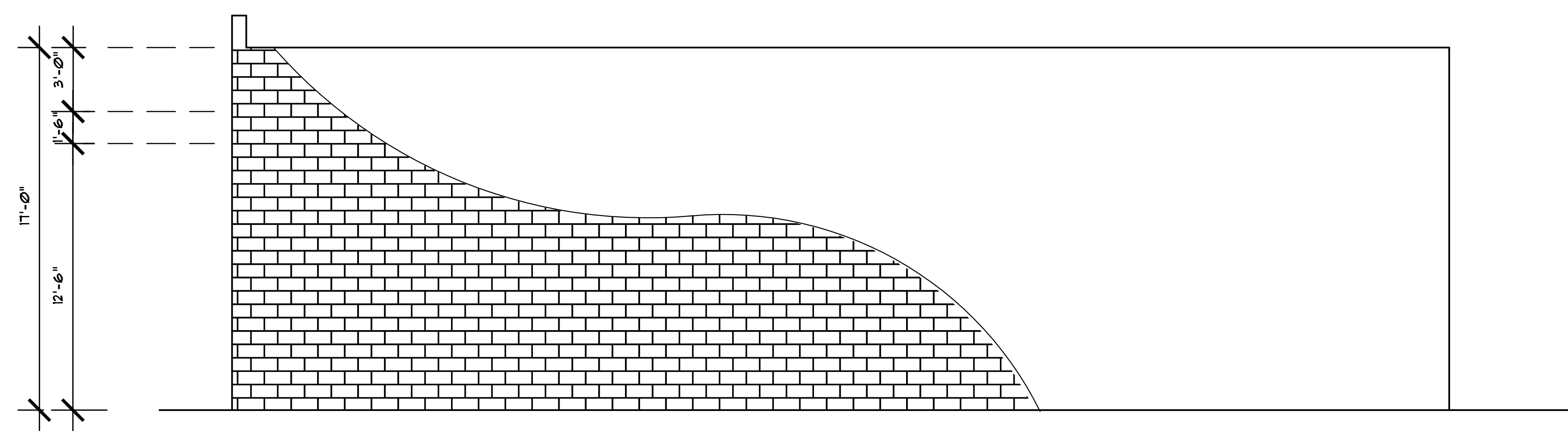
GA G1 20 SHEET METAL AT ALL CONNECTIONS
INSTALL FLASH'G 5"X8" AT EA CORNER OF WALLS AND RAFTERS TYP
CONTINUE BITUTHENE UNDER BLD'G PAPER WALL INTERSECTION
INSTALL WATER PROOF MEMBRANE AND SHEET METAL @ CONNECTION OF ALL WALLS AND ROOF ON TOP OF HOT MOP AS SPECIFIED IN WATER ROOFING ROOF NOTE

ALL SIGNS SHALL BE UNDER SEPARATE PERMIT



NORTH ELEVATION

1" STUCCO w/ 1/2" STUCCO CONTROL JOINTS, VERIFY TEXTURE W/OWNER
WEEP SCREED MIN' 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREA
ANTI GRAFFITI COAT'G GRAFFITI MELT RR25030
UP TO 9'-0" ABOVE THE GRADE TYP



EAST ELEVATION

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS/DETAILS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE CONSULTANTS, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CONSULTANTS. VISUAL CONTACT WITH THESE DRAWINGS/DETAILS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THIS OFFICE AND/OR ANY OF OUR CONSULTANTS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS (IF ANY) MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL NEW AND/OR EXISTING WALLS

JK

Architect
Amorsolo R. Manligas
LIC#C15983
1756 Barry Ave
Los Angeles California
90025
(310) 920-2626

EXISTING 76 GAS STATION MARKET,
WITH NEW AUTOMATIC CARWASH
JOB AT: 4822 VAN NUTS BLVD
SHERMAN OAKS CA 91403

1/18/2016
1/4"=1'-0"

A 4



VIEW TO SOUTH



VIEW FROM CORNER SOUTH EAST



VIEW TO NORTH @ LOCATION OF FUTURE CAR WASH



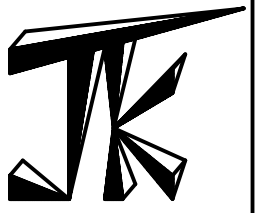
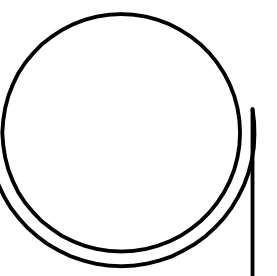
VIEW TO THE ALLEY & LOCATION OF FUTURE CAR WASH



VIEW TO THE GAS STATION



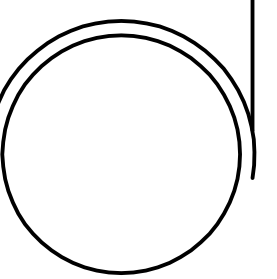
VIEW TO THE ALLEY & LOCATION OF FUTURE CAR WASH



Architect
 Amorsolo R. Manligas
 LIC# C15983
 1756 Barry Ave
 Los Angeles California
 90025
 (310) 920-2626

EXISTING 76 GAS STATION / MARKET,
 WITH NEW AUTOMATIC CARWASH
 JOB #1: 4822 VAN NUYS BLVD
 SHERMAN OAKS CA 91403

1/18/2016





APPLICATIONS:

ENVIRONMENTAL ASSESSMENT FORM

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Environmental Case Number: ENV 2017-1780 EAF

Related Case Numbers: ZA-2017-1781 CU ZAA

Case Filed With (Print Name): DENNIS CHEU Date Filed: 5/3/2017

EAF Accepted By (Print Name): _____ Date Accepted: _____

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Project Address¹: 4822 Van Nuys Blvd, Sherman Oaks CA 91403

Assessor's Parcel Number: 2248-006-021

Major Cross Streets: Riverside Blvd

Community Plan Area: Van Nuys-North Sherman Oaks Council District: CD4

APPLICANT (if not Property Owner)

Name: Jian Kerendian

Company: Architects Group

Address: 1756 Barry Ave

City: Los Angeles State: CA Zip Code: 90025

E-Mail: jiank26@yahoo.com

Telephone No.: (310) 920-2626

APPLICANT'S REPRESENTATIVE

Name: _____

Company: _____

Address: _____

City: _____ State: _____ Zip Code: _____

E-Mail: _____

Telephone No.: _____

PROPERTY OWNER

Name: Chantly Banayan

Company: 4822 Van Nuys LLC

Address: 4822 Van Nuys Blvd

City: Sherman Oaks State: CA Zip Code: 91403

E-Mail: cbanayan@gmail.com

Telephone No.: (310) 699-6940

ENVIRONMENTAL REVIEW CONSULTANT

Name: _____

Company: _____

Address: _____

City: _____ State: _____ Zip Code: _____

E-Mail: _____

Telephone No.: _____

¹ Project address must include all addresses on the subject site (as identified in ZIMAS; <http://zimas.lacity.org>)

OVERVIEW

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings, and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1. PROJECT DESCRIPTION

A. Briefly describe the entire project and any related entitlements (e.g. Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

CUP and ZV for a new automatic car wash with existing 76 union gas station and existing market.
 The new car wash 1144 sqft. REDUCE THE SIDE SET BACK TO ZERO IN LAVE OF 5'-0"

Additional information or Expanded Initial Study attached: YES NO

B. Will the project require certification, authorization, clearance or issuance of a permit by any federal, state, county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.? YES NO

If YES, please specify:

2. EXISTING CONDITIONS

A. Project Site.

Lot Area: 18513 sqft (18728.3 FROM ZIMAS) square feet
 Net Acres: 0.425 Gross Acres: 0.425

B. Zoning/Land Use.

	Existing	Proposed
Zoning	C1.5-1VL-RIO	C1.5-1VL-Rio
Use of Land	Commercial	Commercial
General Plan Designation	General Commercial	General Commercial

C. Structures.

1. Does the property contain any vacant structure? YES NO

If YES, describe and state how long it has been vacant: _____

2. Will any structures be removed/demolished as a result of the project? YES NO

If YES, provide the number: _____, type: _____
 _____, total square footage: _____
 and age: _____ of structures to be removed.

If residential dwellings (apartments, single-family, condominiums etc.) are being removed indicate the number of units: _____

D. Trees.

Are there any trees on the property, and/or within the public right-of-way next to the property, that will be removed or impacted* as a result of the project? YES NO

If YES complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
Non-Protected (8" trunk diameter and greater)						
Protected (4" trunk diameter and greater)		Oak Tree (excluding Scrub Oak)				
		Southern California Black Walnut				
		Western Sycamore				
		California Bay				

* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath the tree's canopy.

Additional information attached: YES NO

If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a **Tree Report** is required.

E. Slope. State the percent of property which is:

Less than 10% slope: Less 10% 10-15% slope: _____ over 15% slope: _____

If slopes over 10% exist, a **Topographic Map** will be required.

F. **Grading.** Specify the total amount of dirt being moved:

0-500 cubic yards More than 500 cubic yards

If more than 500 cubic yards (indicate amount): _____ cubic yards

G. **Import/Export.** Indicate the amount of dirt to be imported or exported:

Imported: N/A cubic yards Exported: N/A cubic yards

Location of disposal site: _____

Location of borrow site: _____

Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area? YES NO

If YES, a **Haul Route** is required.

H. **Hazardous Materials and Substances.** Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination? YES NO

If YES, describe: There is an existing 76 union gas station on this lot since 1970.

If YES, a **Phase I Environmental Site Assessment (ESA)** is required.

I. **Historic, Cultural and/or Architecturally Significant Site or Structure.** Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:

National Register of Historic Places: N/A

California Register of Historic Resources: N/A

City of Los Angeles Cultural Historic Monument: N/A

Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ): N/A

Identified on SurveyLA: N/A

Identified in HistoricPlacesLA: N/A

Does the Project affect any structure 45 or more years old that does not have a local, state, or federal designation for cultural or historic preservation? YES NO

J. Miscellaneous. Does the property contain any easements, rights-of-way, Covenant & Agreements, contracts, underground storage tanks or pipelines which restrict full use of the property? YES NO
 If YES, describe: _____
 _____ and indicate the sheet number on your plans showing the condition: _____.

3. PROPOSED DEVELOPMENT

In the sections below, describe the entire project, not just the area in need of the entitlement request. If the project involves more than one phase or substantial expansion or changes of existing uses, please document each portion separately, with the total or project details written below. Attach additional sheets as necessary to fully describe the project.

A. ALL PROJECTS

i. Parking.

Vehicular Parking

Required: 8 + Guest: N/A

Proposed: 6 + Guest: N/A

Bicycle Parking:

Required Long-Term: 2 Required Short-Term: 2

Proposed Long-Term: 2 Proposed Short-Term: 2

ii. Height.

Number of stories (not including mezzanine levels): one Maximum height: 18'-6"

Are Mezzanine levels proposed? YES NO

If YES, indicate on which floor: _____,

If YES, indicate the total square feet of each mezzanine: _____

*New construction resulting in a height in excess of 60 feet may require a **Shade/Shadow Analysis**. This does not apply to projects that are located within a Transit Priority Area (TPA) as defined by ZI-2452 (check the Planning and Zoning tab in ZIMAS for this information <http://ZIMAS.lacity.org>).*

iii. Project Size.

What is the total floor area of the project? New car wash 1102 sqft gross square feet

iv. Lot Coverage. Indicate the percent of the total project that is proposed for:

Building footprint: 14% %

Paving/hardscape: 75% %

Landscaping: 11% %

v. Lighting. Describe night lighting of project: There existing light poles on the site and we are proposing new shielded wall mounted lights facing the site.

B. RESIDENTIAL PROJECT

If no portion of the project is residential check -N/A and continue to next section

i. Number of Dwelling Units.

Single Family: N/A , Apartment: N/A , Condominium: N/A

ii. Recreational Facilities. List recreational facilities for project: N/A

iii. Open Space.

Does the project involve new construction resulting in additional floor area and units? YES NO

Does the project involve six or more residential units? YES NO

If YES to both, complete the following

Pursuant to LAMC 12.21.G	Required	Proposed
Common Open Space (Square Feet)		
Private Open Space (Square Feet)		
Landscaped Open Space Area (Square Feet)		
Number of trees (24 inch box or greater)		

iv. Utilities. Describe the types of appliances and heating (gas, electric, gas/electric, solar): _____

v. Accessory Uses. Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: _____

C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT

If the project is residential only check -N/A and continue to next section

i. Type of Use. _____

ii. Project Size. Does the project only involve the remodel or change of use of an existing interior space or leasehold? YES NO

If YES, indicate the total size of the interior space or leasehold: _____ square feet

iii. Hotel/Motel. Identify the number of guest rooms: _____ guest rooms

iv. **Days of operation.** _____
Hours of operation. _____

v. **Special Events.** Will there be special events not normally associated with a day-to-day operation (e.g. fund raisers, pay-for-view events, parent-teacher nights, athletic events, graduations)? YES NO
If YES, describe events and how often they are proposed _____

vi. **Occupancy Limit.** Total Fire Department occupancy limit: _____

- a. Number of fixed seats or beds _____
- b. Total number of patrons/students _____
- c. Number of employees per shift _____, number of shifts _____
- d. Size of largest assembly area _____ square feet

v. **Security.** Describe security provisions for the project _____

4. SELECTED INFORMATION

A. **Circulation.** Identify by name all arterial road types (i.e. Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <http://navigatela.lacity.org> for this information). Van Nuys is Boulevard II major highway class II, Riverside is Avenue I secondary highway, 101 FWY is less than 1000'-0" away from this site.

B. **Green building certification.** Will the project be LEED-certified or equivalent? YES NO

If YES, check appropriate box:

- Certified Equivalent Silver Gold Platinum Other _____

C. **Fire sprinklers.** Will the Project include fire sprinklers? YES NO

5. CLASS 32 URBAN INFILL CATEGORICAL EXEMPTION (CE) REQUEST

The Class 32 "Urban Infill" Categorical Exemption (Section 15332 of the State CEQA Guidelines), is available for development within urbanized areas. This class is not intended to be applied to projects that would result in any significant traffic, noise, air quality, or water quality impacts.

Check this box if you are requesting a Class 32 Exemption, and:

- You have read DCP's Specialized Instructions for the Class 32 Categorical Exemption (CP-7828) and,
- You have submitted the written justifications identified in the Specialized Instructions, and any supporting documents and/or technical studies to support your position that the proposed Project is eligible for the Class 32 Exemption and the project does not fall under any of the Exceptions pursuant to CEQA Section 15300.2.

Note that requesting the Urban Infill CE does not guarantee that the request will be accepted. The City may require additional studies and information if necessary to process the CE. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

**APPLICANT/CONSULTANT'S AFFIDAVIT
OWNER MUST SIGN AND BE NOTARIZED,
IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED**

PROPERTY OWNER

CONSULTANT/AGENT

I, (print name) Chantly Banayan

I, (print name) _____

Signature _____

Signature _____

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code Section 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 3-29-17 before me, HYUN JOO KIM, Notary Public
(Insert Name of Notary Public and Title)

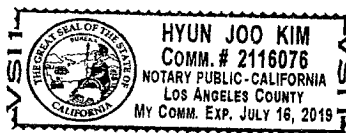
personally appeared Chantly Rachel Banayan, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

(Seal)





APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number ZA-2017-1781 CU ZAA
 Env. Case Number ENV 2017-1780 EAF
 Application Type CONDITIONAL USE AND ZONING ADMIN ADJUSTMENT
 Case Filed With (Print Name) DENNIS CHEW, ALLEMAN Date Filed 5/3/2017

Application includes letter requesting:

- Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g. vacation hold)
 Related Case Number _____

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.
All terms in this document are applicable to the singular as well as the plural forms of such terms.

1. PROJECT LOCATION

Street Address¹ 4822 Van Nuys Blvd, Sherman Oaks CA 91403 Unit/Space Number _____
 Legal Description² (Lot, Block, Tract) Lots 12-17 Tract 8294
 Assessor Parcel Number 2248-006-021 Total Lot Area _____

2. PROJECT DESCRIPTION

Present Use 76 union gas station, market for the gas station
 Proposed Use 76 union gas station, market for the gas station and new automatic car wash
 Project Name (if applicable) 76 union gas station
 Describe in detail the characteristics, scope and/or operation of the proposed project new automatic car wash for the existing gas station, hours of operation 7AM-11PM, 1102 sqft.

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- | | |
|---|--|
| <input type="checkbox"/> Site is undeveloped or unimproved (i.e. vacant) | <input checked="" type="checkbox"/> Site is located within 500 feet of a freeway or railroad |
| <input checked="" type="checkbox"/> Site has existing buildings (provide copies of building permits) | <input type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g. school, park) |
| <input type="checkbox"/> Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g. National Historic Register, Survey LA) |

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)
² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

ZA-2017-1781

Proposed Project Information

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree
- New construction: 1102 square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing 0 – Demolish(ed)³ 0 + Adding 0 = Total 0

Number of Affordable Units⁴ Existing 0 – Demolish(ed) 0 + Adding 0 = Total 0

Number of Market Rate Units Existing 0 – Demolish(ed) 0 + Adding 0 = Total 0

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing section 12.24 Section from which relief is requested (if any): 12.24 W 17

Request: New 1102 sqft car wash to serve as accessory use for existing gas station/market

Authorizing section 12.28 Section from which relief is requested (if any): 12.13 C 2(c)

Request: REDUCING THE SIDE SETBACK TO ZERO IN LUIE OR S'

Authorizing section _____ Section from which relief is requested (if any): _____

Request: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____

Ordinance No.: _____

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. OTHER AGENCY REFERRALS/REFERENCE

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please check all that apply and provide reference number if known.

Are there any outstanding Orders to Comply/citations at this property? YES (provide copy) NO

Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

Development Services Case Management Number _____

Building and Safety Plan Check Number _____

Bureau of Engineering Planning Referral (PCRF) _____

Bureau of Engineering Hillside Referral _____

Housing and Community Investment Department Application Number _____

Bureau of Engineering Revocable Permit Number _____

Other—specify _____

6. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name Jian Kerendian
Company/Firm Architects Group
Address: 1756 Barry Ave Unit/Space Number _____
City Los Angeles State CA Zip Code: 90025
Telephone (310) 920-2626 E-mail: JianK26@Yahoo.com
Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant
Name (if different from applicant) 4822 Van Nuys LLC
Address 4822 Van Nuys Blvd Unit/Space Number _____
City Sherman Oaks State CA Zip Code: 91403
Telephone (310) 699-6940 E-mail: cbanayan@gmail.com

Agent/Representative name _____
Company/Firm _____
Address: _____ Unit/Space Number _____
City _____ State _____ Zip: _____
Telephone _____ E-mail: _____

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____
Name _____
Company/Firm _____
Address: _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other _____

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

ZA-2017-1781

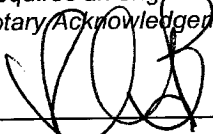
PROPERTY OWNER

9. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service of process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- A. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- B. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- C. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- D. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 3/29/17

Print Name Chantty Banayan

Signature _____

Date _____

Print Name _____

ZA-2017-1781

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 3-29-17 before me, HYUN JOO KIM, Notary Public
(Insert Name of Notary Public and Title)

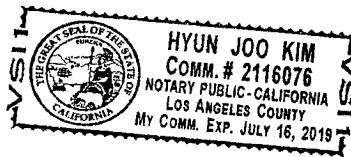
personally appeared Charity Rachel Banayan, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

(Seal)



Project description of the property for which the conditional use permit is being requested at 4822 Van Nuys Blvd, Sherman Oaks CA 91403.

The property located at 4822 Van Nuys Blvd, Sherman Oaks CA 91403. the owner of the property is, 4822 Van Nuys LLC the manager of LLC is Ms Chantly Banayan APN# 2248-006-021, Tract 8294 Lots #12-17, the Applicant has been the owner of said property since 2013.

The property is zoned C1.5-1VL- RIO, currently is improved with an gas station, convenience store, total of the existing building square foot is 1555 which to remain we will keep the canopies, the fuel dispensers signs and under ground fuel tanks supply.

We are proposing a new 1144 sqft of a car wash in the rear portion of the property closer to the alley behind the existing market, the hours of operation to be 7:00am to 11:00pm,.

The project has operated as a gas station with a convenience store at the subject site since 1970 as such the proposed new car wash will be only an accessory to the existing gas station/market and operation will not result in any change that would incompatible with the adjacent uses or pattern of development in the surrounding neighborhood.

The property located along a major highway class II (Van Nuys Blvd) and secondary highway (Riverside DR.) and immediately surrounding by commercial building, at all sites, the 101 freeway at west and residential at east side only.

The use ensures the viability of the existing neighborhood store and a car wash which support the needs of the local residents and the public, with new facade to enhance the neighborhood.

The operation of gas station with convenience store and a new car wash at the subject property will continue to provide a local amenity for the surrounding residents and patrons, the new facade would improve the curb appeal, the landscaping, clean and secure property with new cameras at each corner will raise the value of the property and the neighborhood, will create a new tax revenue for the city, there were not any incident or history of disciplinary action against the site therefore the proposed project requested will not adversely affect the surrounding neighborhood or the public health, welfare and safety but to improve the surrounding in whole.

This project is in compliance with general commercial plan land use, the proposed operations should not be materially detrimental to the character and development of the immediate neighborhood. The existing use at the moment is a gas station, by granting the new building for the car wash, the corner lot will be more utilized & organized, the city previously granted new building under similar circumstances as other gas stations in the community enjoying the benefit of it.

The proposed use can be deemed to be in harmony with the general commercial plan land use, the design leans to conventional modern style with white color stucco, traditional door frame.

Farther the essential requirements of general commercial plan land use has been meet (please refer to the plot and floor plan and the elevations), by providing drought proof landscaping buffers along the property lines, the parking counts, transparency and the FAR are all per current code requirements, farther the use of gas station / convenience store market already exist at this location already, we are only add an accessory car wash building, so that project approval will not create or add to a detrimental developments in the vicinity.

There are no covenants or restrictions for the best of our knowledge.

Chantly Banayan